

CITY OF DEER PARK

Variance



LN- 001168 -2025

PERMIT #: LN- 001168 -2025

PROJECT:

ISSUED DATE: June 05, 2025

EXPIRATION DATE: June 05, 2026

PROJECT ADDRESS: 1809 MEADOW LARK ST

OWNER NAME: Kenneth & Amber Smith

CONTRACTOR:

ADDRESS: 1809 Meadow Lark St

ADDRESS:

CITY: DEER PARK

CITY:

STATE: TX

STATE:

ZIP: 77536

ZIP:

PHONE:

PROJECT DETAILS

PROPOSED USE:
DESCRIPTION: Needing A 5 Foot Variance

SQ FT: 0
VALUATION: \$0.00

PERMIT FEES

TOTAL FEES: \$250.00 PAID: \$250.00 BALANCE: \$0.00

ALL PERMITS MUST BE POSTED ON THE JOBSITE AND VISIBLE FROM THE STREET

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 1 YEAR AT ANY TIME AFTER WORK IS STARTED. ALL PERMITS ARE SUBJECT TO THE FOLLOWING:

- ALL WORK MUST COMPLY WITH THE BUILDING, ELECTRICAL, PLUMBING, AND MECHANICAL CODES ADOPTED BY THE CITY OF DEER PARK AT THE TIME THE PERMIT IS ISSUED.
- IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO COMPLY WITH ALL STATE & FEDERAL DISABILITY REQUIREMENT
- ENCROACHMENTS OF EASEMENTS AND RIGHT-OF-WAYS ARE NOT ALLOWED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

DATE

REVIEWED FOR CODE COMPLIANCE BY

DATE

TO SCHEDULE NEXT DAY INSPECTIONS CALL BY 4PM 281-478-7270
ALL REINSPECTIONS ARE SUBJECT TO A \$45.00 REINSPECTION FEE

You can request a morning or afternoon inspection and we will do our best to accommodate you but there are no guarantees, it will depend on the volume of inspections scheduled that day.

710 E San Augustine Deer Park, TX 77536 Fax 281-478-0394
www.deerparktx.gov/publicworks

5/4/2025

To Zoning and Planning Commission,

I am requesting a five (5) foot variance to the 15 foot height restriction on an auxillary building.

I am requesting this variance for my house at 1809 Meadow Lark St, Deer Park TX 77536

I am wanting to build an auxillary building that is 36 foot by 42 foot and 20 foot high. I am requesting the height variance so I can put in a car lift and have the needed clearance for its operation. This will be for my personal use and in no way used for any business purpose. My plans are to put stone approximately 8 foot high on the sides facing X street and Meadow Lark st (south and west sided). The materials used for the auxillary building will be the same as my house : hardiplank, stone and/or brick and painted to match the house, as well as the same color/style shingles.

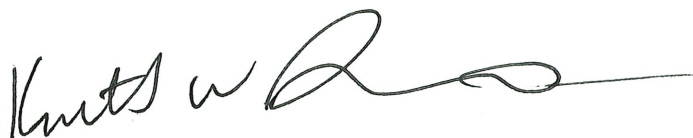
We finished a complete and extensive home remodel of our house in 2022 and added many upgrades and improvements including stone to the outside areas, therefore we believe this will provide a consistent and beautiful look to the property.

Thank you,

Kenneth W Smith

281-686-0365

Kwsmith6821@gmail.com

A handwritten signature in black ink, appearing to read "Kenneth W Smith", with a long horizontal flourish extending to the right.

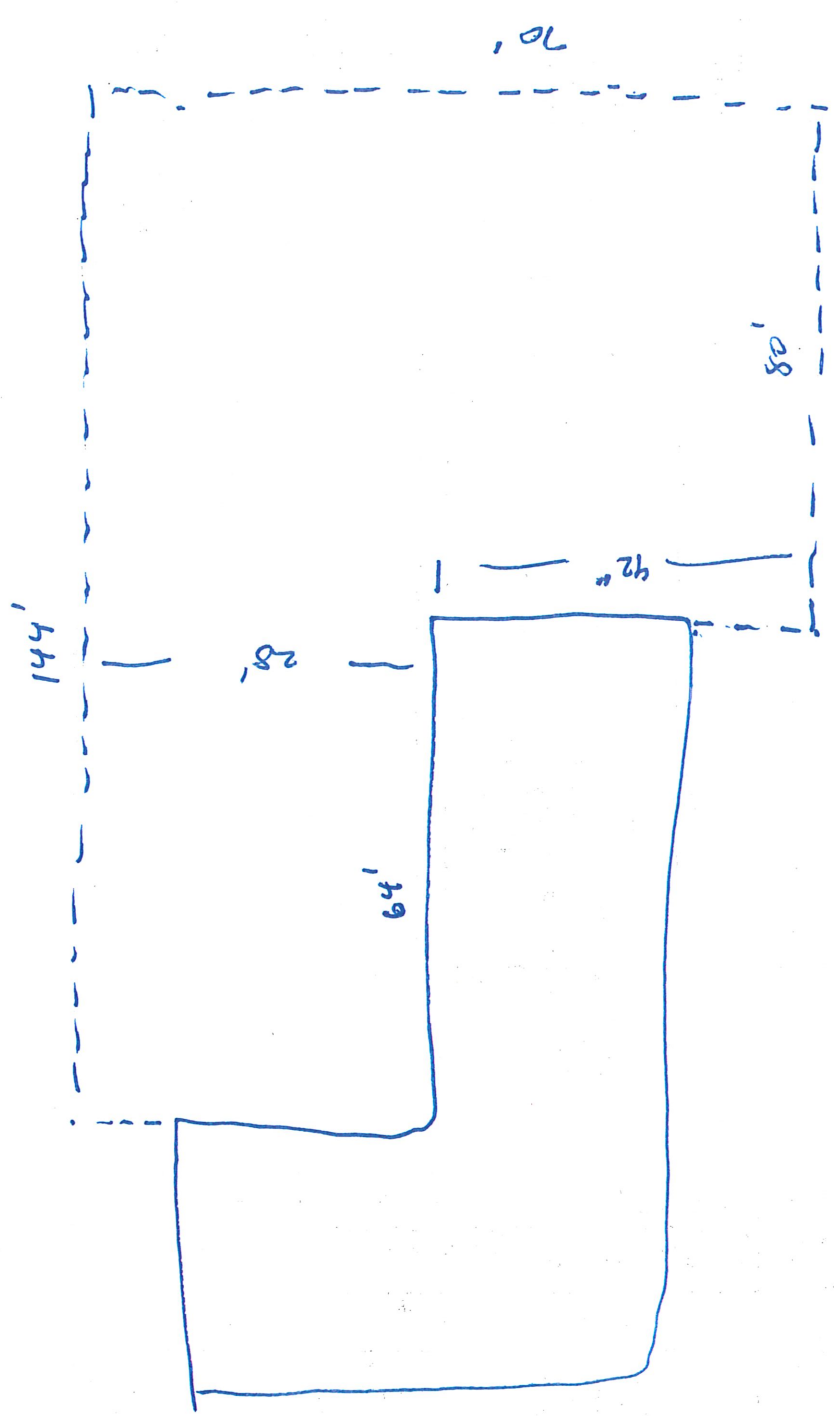
FOR
 0/0
 OF
 PITCHER HAND

$$\frac{\text{Building}}{42 \times 36 = 1512}$$

7392

$$\frac{\text{Backyard}}{2661 = 28 \times 95}$$

OR
 PITCHER HAND



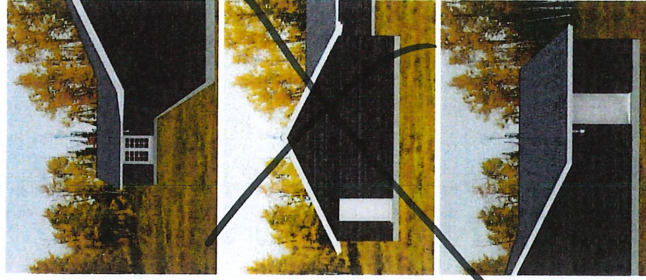
CONSTRUCTION PLANS FOR PROPOSED SMITH RESIDENTIAL PLAN 1809 MEADOWLARK STREET HARRIS COUNTY, TX



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- 2.
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- 4.
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- 14.

SHEET INDEX:

- COVER PAGE
- ELEVATIONS PLAN
- ELEVATIONS PLAN
- FLOOR PLAN
- FOUNDATION PLAN
- FOUNDATION NOTES
- CEILING JOISTS PLAN
- JOISTS NOTES
- RAFTERS PLAN
- ROOF FRAMING NOTES
- GENERAL FRAMING NOTES
- ELECTRICAL PLAN
- HVAC PLAN
- SITE PLAN





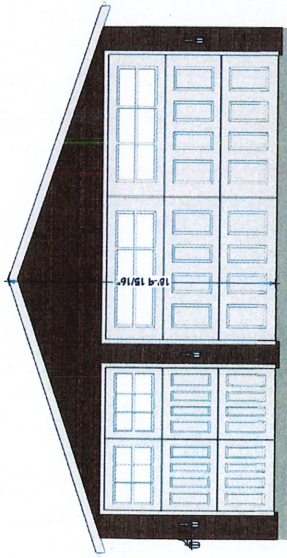
REVISION	DATE	DESCRIPTION

ELEVATIONS

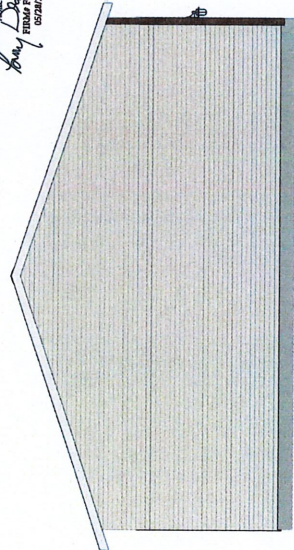
PLAN: SMITH
1809 MEADOWLARK
STREET
HARRIS COUNTY, TX

DRAWINGS PROVIDED BY:
WILL TO DESIGN
PHONE: 832-444-9022
EMAIL: WILLTODESIGN@GMAIL.COM
WEB: WILLTODESIGN.COM

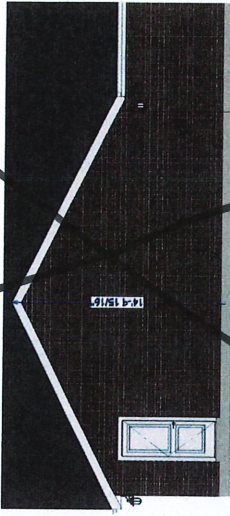
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SCALE: 1/4" = 1'
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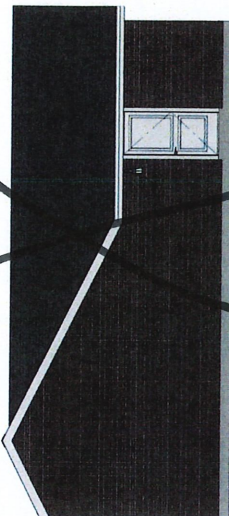
GARAGE FRONT ELEVATION



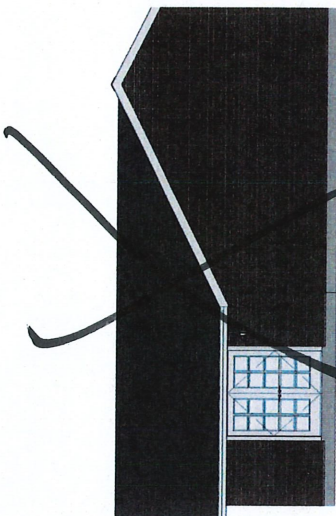
GARAGE REAR ELEVATION



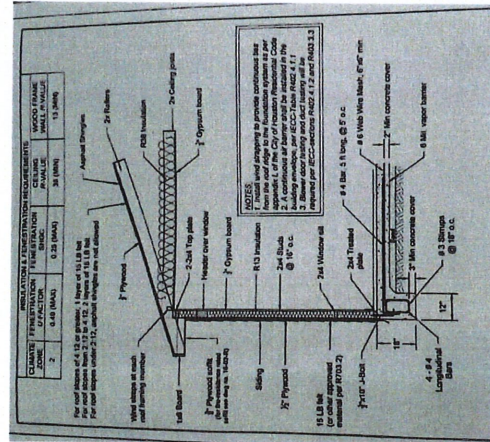
HOME ADDITION REAR ELEVATION



HOME ADDITION RIGHT ELEVATION



HOME ADDITION LEFT ELEVATION





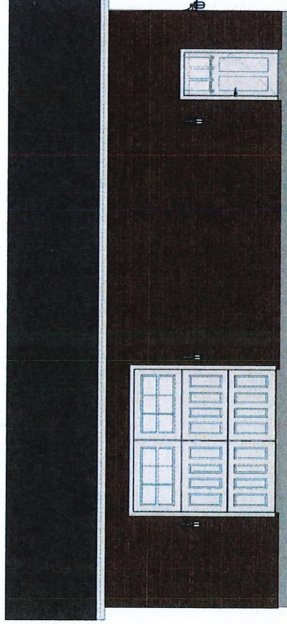
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ELEVATIONS
PLAN

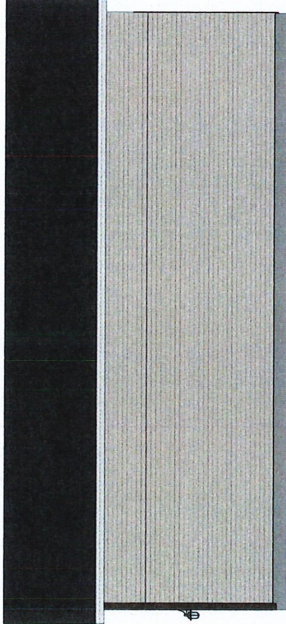
PLAN: SMITH
1809 MEADOWLARK
STREET
HARRIS COUNTY, TX

DRAWINGS PROVIDED BY:
MIL TO DESIGN
PHONE: 282-4444/22
EMAIL: MILTODSIGN@GMAIL.COM
WEB: MILTODSIGN.COM

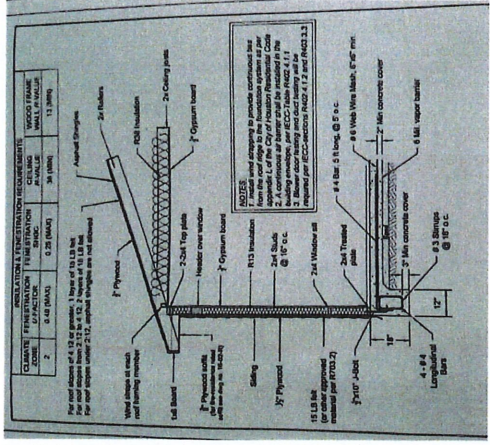
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SCALE: 1/4" = 1'
SHEET: 3



GARAGE LEFT ELEVATION



GARAGE RIGHT ELEVATION





REVISION TABLE		
NUMBER	DATE	REVISION BY / DESCRIPTION

FLOOR
PLAN

PLAN: SMITH
1804 MEADOWLARK
STREET
HARRIS COUNTY, TX

DRAWINGS PROVIDED BY:
WILL TO DESIGN
PHONE: 832-444-4902
EMAIL: WILLTODESIGN@GMAIL.COM
WEB: WILLTODESIGN.COM

DATE:

5/28/2025

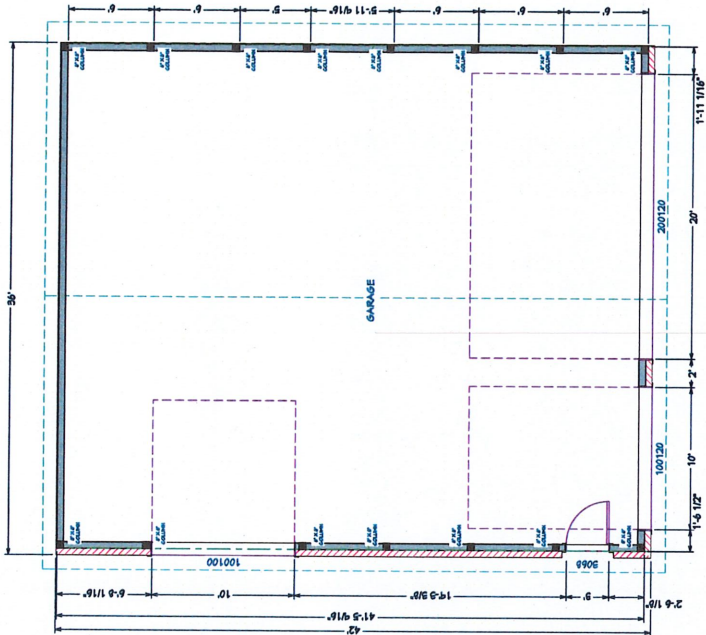
SCALE:

1/4" = 1'

SHEET:

4

Exterior Elevation Back



GARAGE FLOOR PLAN

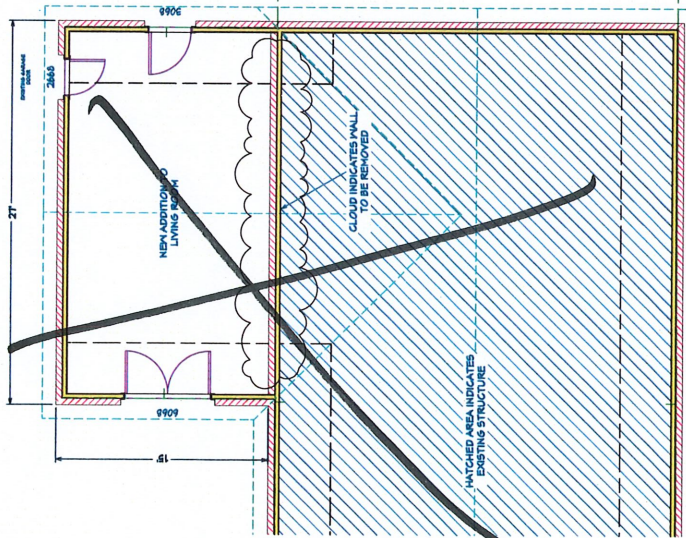
Exterior Elevation Front

NEW ADDITION CEILING HEIGHT TO BE 9'.
LIVING ROOM ADDITION = 9'3"

GARAGE CEILING HEIGHTS TO BE 15'.
EXTERIOR WALLS TO BE 14' TALL.
THIS BUILDING CAN WITHSTAND 141 MPH
3 SECOND WIND GUST.
GARAGE SQUARE FOOTAGE = 1,401'



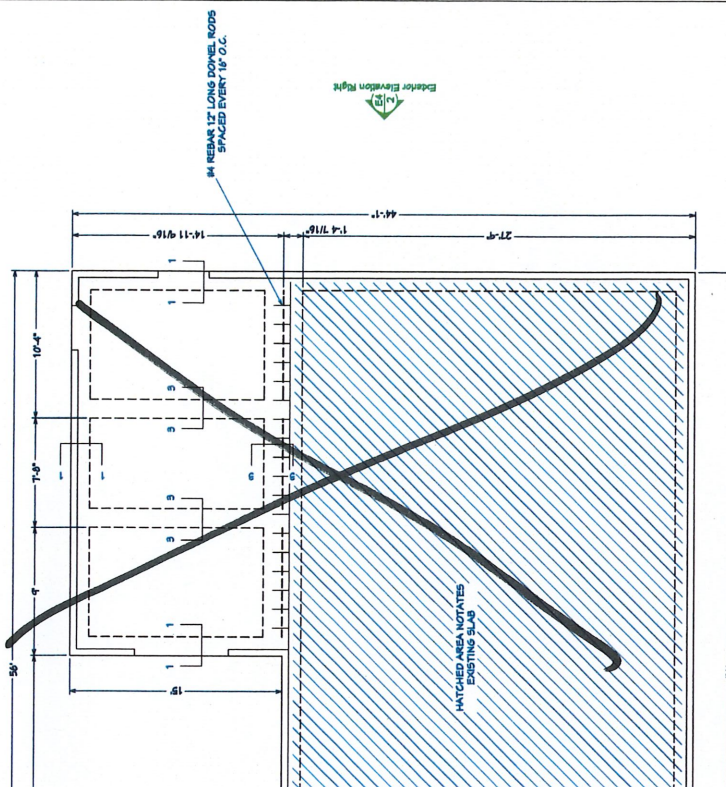
Exterior Elevation Back



HOME ADDITION FLOOR PLAN

Floor Plan Notes
ALL DIMENSIONS TO FACE UNLESS NOTED OTHERWISE.
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Exterior Elevation Deck

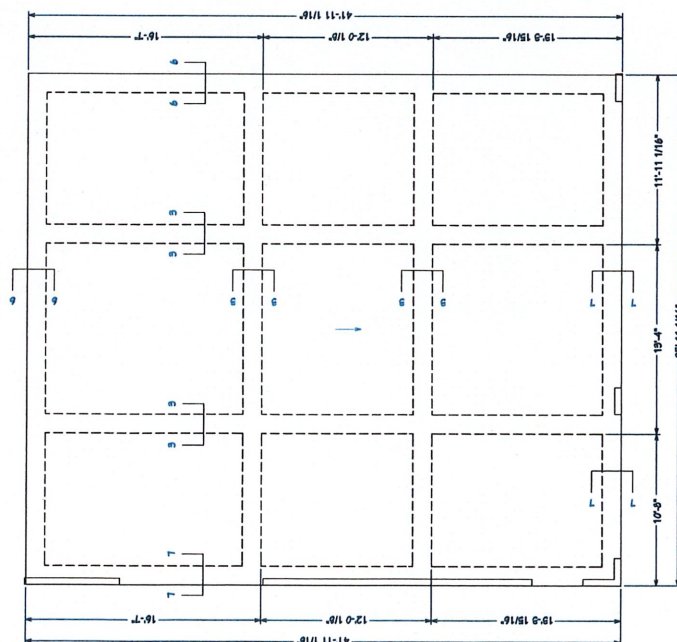


HOME ADDITION FOUNDATION PLAN



Exterior Elevation Front

Exterior Elevation Back



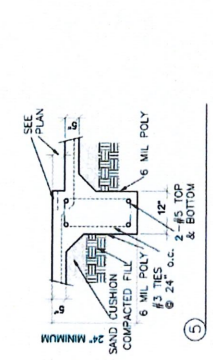
SARAGE FOUNDATION PLAN

E1
Exterior Elevation Front

REBAR TO BE PLACED EVERY 16" O.C.
THROUGHOUT ENTIRE NEW SLAB.

NEW SLAB BEAMS TO BE 12" X 24".





- 1) Reinforcing steel shall be per ASTM A615 Grade 60 with dimensions per ASTM A630S.
- 2) 12" x 14" O.C. mat per ASTM A185. Steel be installed 2 inches above the concrete.
- 3) Reinforcing bars shall be overlapped a distance 30 times the bar diameter.
- 4) Where reinforcing steel is shown in the exterior grade beams, provide corner bars in the outside toes to match the horizontal steel from the intersecting interior and exterior grade beams, or bend bars around corners and lap as per note #3 above.
- 5) Provide 2-#4 x 4'-0" long bars 2 inches below the top of concrete at all re-entrant corners.

1) Site preparation breadth the slab shall be in accordance with the soil conditions and shall meet the following requirements:

- a) Strip all vegetation down to natural soil. Remove all trees within a 10' radius of the foundation.
- b) Remove all topsoil and a heavy layer (less than 6" deep) of organic decomposing material out of slab area.
- c) Backfill and properly compact tire-beds or soft spots with material similar to the site materials.
- d) Prepare the foundation with a concrete wall of all materials which will be placed in the foundation. The concrete wall shall be 12" thick and consist of sand, gravel, and crushed stone. The wall shall have a plasticity index greater than 7 but less than 20.
- e) Fill the slab area shall be placed in 6" maximum lifts and compacted to 95% of maximum dry density as determined by ASTM D2958 (Standard Proctor).
- f) The foundation shall be placed in 6" maximum lifts and compacted to 95% of maximum dry density as determined by ASTM D2958 (Standard Proctor) at or below the bottom of the slab.
- g) A 4" leveling bed shall be of firm stable bank sand or other clean granular material.
- h) The foundation shall be placed in 6" maximum lifts, drainage away from the foundation with a minimum of 1" to protect for the first 5 feet.
- i) Prior to pouring of the concrete, a drainage ditch shall be constructed to ensure that any other water which enters into the foundation made up, is removed from the foundation.
- j) The foundation shall be placed in 6" maximum lifts and compacted to 95% of maximum dry density as determined by ASTM D2958 (Standard Proctor) as specified for this project. The soil report and soil design manual was applied for this project, the soil report and central.



SLAB MUST BE 3 000 PSI



PLAN: SMITH
1809 MEADOWLARK
STREET
HARRIS COUNTY, TX

DRAWINGS PROVIDED BY:
 WILL TO DESIGN
 PHONE: 832-544-8902
 EMAIL: WILLTODESIGN@ICLOUD.COM
 WEB: WILLTODESIGN

DATE:

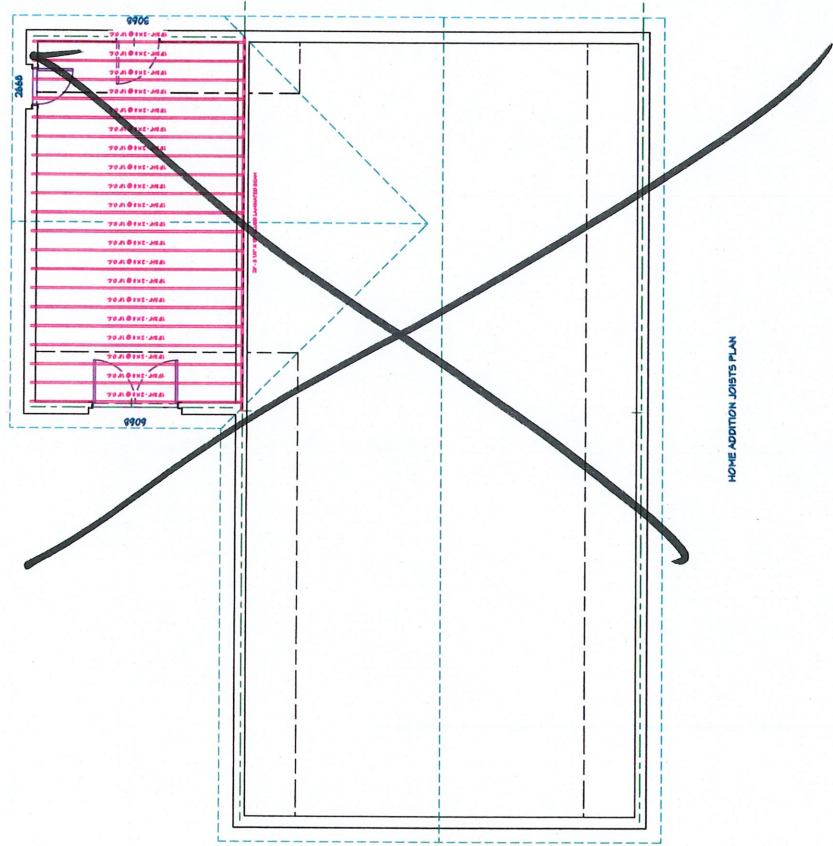
5/28/2017

SCALE:

1/4" = 1'

SHEET:

7



HOME ADDITION JOISTS PLAN

NOTES:

- ALL TIE-ROD HEADERS SHALL BE CONSTRUCTED WITH A 1" THICK OSB PLYWOOD SPACER BETWEEN MEMBERS. MEMBERS SHALL BE NAIL TOGETHER USING 16D NAILS AT 12" O.C. TOP AND BOTTOM (STAGGERED).
- HEADERS SHALL HAVE 1 TIE STUD AND 1 KING POST U.N.D.
- ALL HEADERS SHALL HAVE 2 TIE STUDS AND 1 KING POST U.N.D.
- ALL HEADERS SPOCCED AS ENGINEERED BEAMS SHALL HAVE 2 TIE STUDS AND 1 KING POST U.N.D.

DEALING WITH HEADERS

- ADDITIONAL REQUIREMENTS
1. IF STAIRS HAVE A NUMBER OF 20, 20ST, EACH JOIST WILL BEAR ON A WALL STRUT OR ANOTHER JOIST. STAIRS SHALL MATCH THE NUMBER OF JOISTS BEARING ON THEM. THE CENTERLINE OF THE BEAM SHALL BE THE CENTERLINE OF THE SUPPORTING WALL SYSTEM.
2. ALL BEAMS MADE UP OF A NUMBER OF 2X JOISTS SHALL BE FASTENED AS FOLLOWS FOR THE MAXIMUM HORIZONTAL SPACING OF JOISTS
- | | |
|--------|--|
| 2-2X12 | 14" MAX. @ 12" TOP AND BOTTOM, STAGGER. (A FACE TO FACE) |
| 3-2X12 | 22" MAX. @ 12" TOP AND BOTTOM, STAGGER. (A FACE TO FACE) |
| 4-2X12 | 30" MAX. @ 12" TOP AND BOTTOM, STAGGER. (A FACE TO FACE) |
| 5-2X12 | 34" MAX. @ 12" TOP AND BOTTOM, STAGGER. (A FACE TO FACE) |
- JOISTS SHALL BE 3" x 12" LOCATED 2" MINIMUM FROM BEAMS AND SHALL BE STAGGERED ON TOP AND BOTTOM. NOTE: PROVIDE STANDARD DAMPERS @ EACH FACE OF JOIST. JOISTS SHALL BE PROTECTED AT ANY OTHER ORIENTATIONS THAT ARE NOT SPECIFIED ON PLANS. JOISTS SHALL BE PROTECTED AT ANY OTHER ORIENTATIONS THAT ARE NOT SPECIFIED ON PLANS.

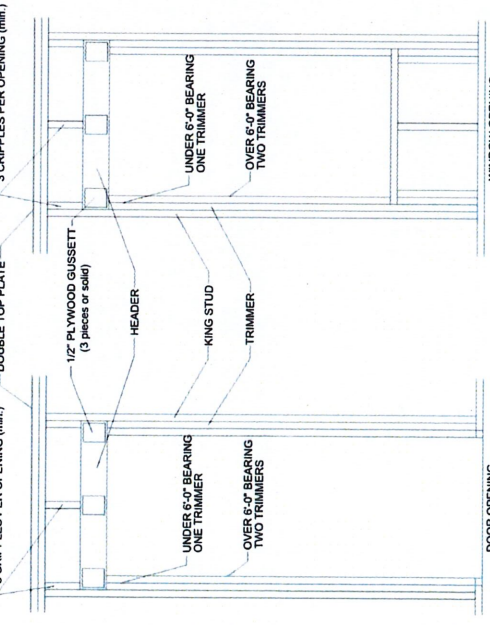
OISTS

- JOISTS BLOCCING**
- A) JOISTS SHALL BE LATERALLY SUPPORTED AT EACH END AND AT EACH SUPPORT BY SOLID BLOCCING EXCEPT WHERE THE END OF JOISTS ARE NEEDED INTO A HEADER, BAND OR RIM JOISTS OR TO AN ADJOINING STUD. SOLID BLOCCING SHALL NOT BE LESS THAN 2" IN THICKNESS AND SHALL MATCH THE DEPTH OF THE JOISTS
- B) PROVIDE SOLID BLOCCING UNDER THE BEARING WALLS PERPENDICULAR TO THE DIRECTION OF THE JOISTS.

STUD WALS

- [illegible]

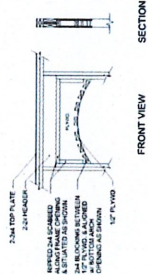
CRIPPOLE ESEDERO ORDINANDO



DOOR OPENING

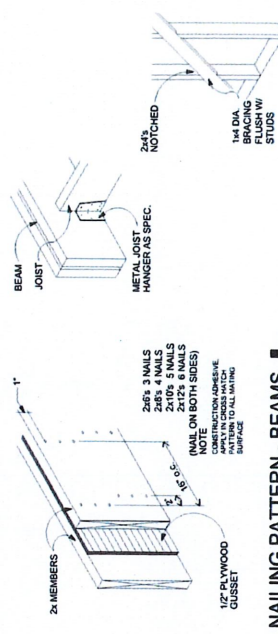
FRAME OPENING DETAIL

ARCHED ENTRY DETAIL



ARCHED B

TRAINING PATTERN BEAMS



SCALE: 1/4" = 1'-0"

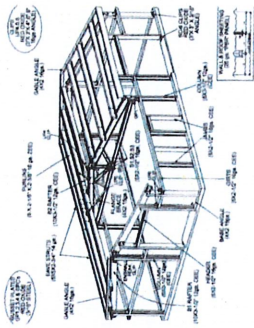




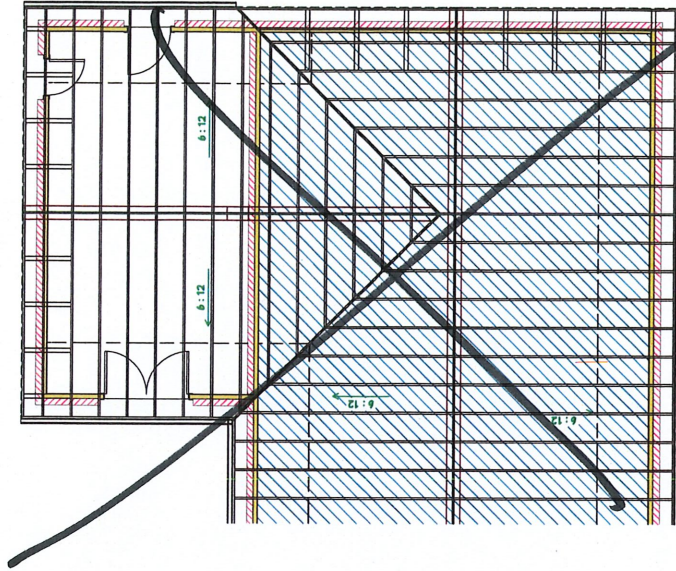
PLAN: SMITH
1809 MEADOWLARK
STREET
HARRIS COUNTY, TX

DRAWINGS PROVIDED BY:
WILL TO DESIGN
PHONE: 652-544-6902
EMAIL: WILLTODESIGN@ICLOUD.COM
WEB: WILLTO.DESIGN

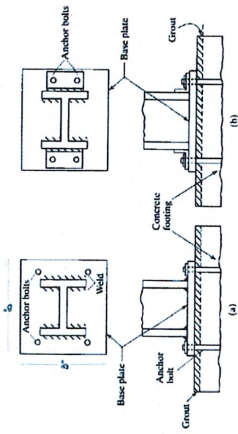
DATE:	5/28/2025
SCALE:	1/4" = 1'
SHEET:	9



ALL RAFTERS TO BE 2 X 6'S @ 16" O.C.
ALL HIP RAFTERS TO BE 2 X 8'S 2018 IRC.

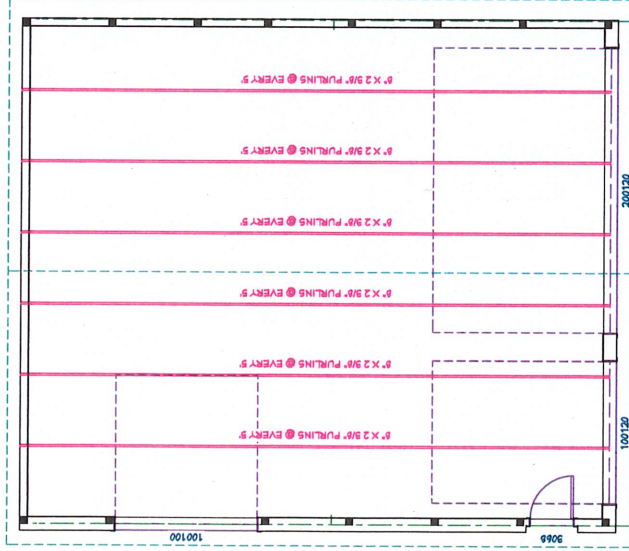


HOME ADDITION WOOD FRAMING PLAN



WET SET WELD PLATE DETAIL
N.T.S.

SIDING & ROOFING WILL BE SCREWED IN USING #12 SCREWS.



GARAGE METAL FRAMING PLAN





PLAN: SMITH
1809 MEADOWLARK
STREET
HARRIS COUNTY, TX

DRAWINGS PROVIDED BY:
 WILL TO DESIGN
 PHONE: 833-544-8902
 EMAIL: WILLTODESIGN@ICLOUD.COM
 WEB: WILLTO.DESIGN

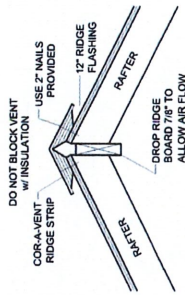
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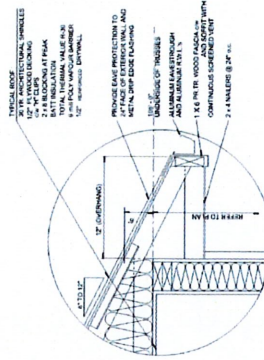
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SHEET:

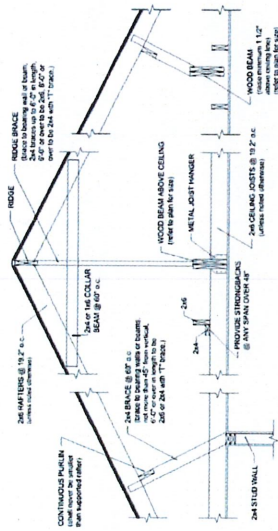
10



RIDGE VENT (TYP.)



ROOF OVERHANG
SCALE N.T.S.



RIDGE FRAMING DETAIL

ANY KICKOUTS TO BE 2 X 6 AT 16" O.C. SEE ELEVATIONS FOR SLOPE.

113

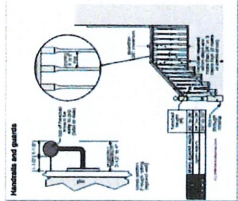
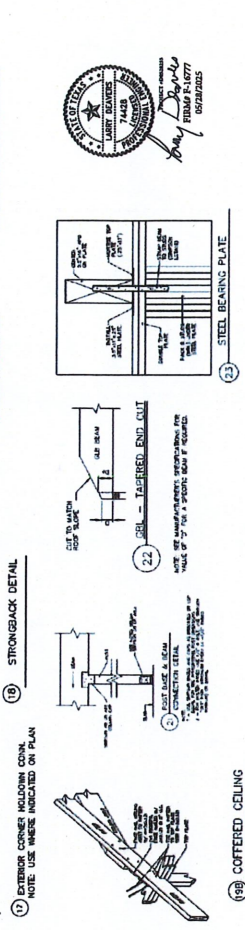
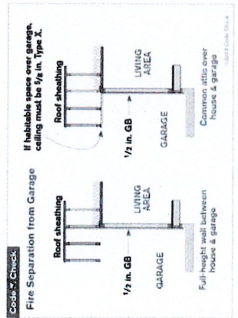
BRACE TO BEAM OR WALL BELOW

WITH 2x4 STRUTS @ 32" O.C. EA. WAY.

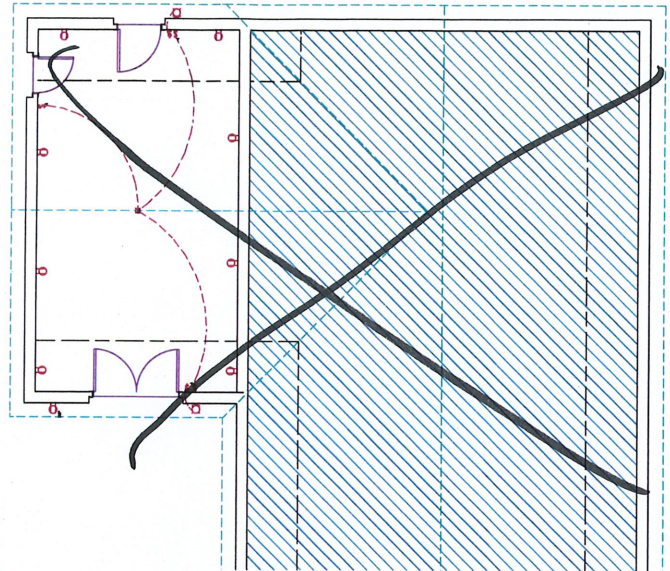
TO BEAM OR WALL BELOW

OPTION IS USED, SEE DETAIL 1

ROOF SHEATHING OR STRAPPING



STAIRS & HAND RAILS TO BE 2018 IRC.



HOME ADDITION ELECTRICAL PLAN



ELECTRICAL - DATA - AUDIO LEGEND		
DESCRIPTION	SYMBOL	
Ceiling Fan		
Ventilation Fan: Ceiling Mounted, Wet Mounted		
Ceiling Mounted Light Fixture: Surface/Pendant		
Recessed, Ined Lamps, Lam Votage		
Wet Mounted Light Fixture: Fluor Mounted, Wet Mounted		
Chandelier Light Fixture		
Fluorescent Light Fixture		
240V Receptacle		
110V Nonpolarized Duplex, Weather Proof, GFCI		
Switches: Single Pole, Weather Proof, 3-Way, 4-Way		
Switches: Dimmer, Ther		
Audio Video: Control Panel, Switch		
Speakers: Ceiling Mounted, Wet Mounted		
Wet Jocke: CATS, CATS + TV, TV/Cable		
Telephone Jack		
Intercom		
Thermostat		
Door Chime, Door Bell Station		
Smoke Detectors: Ceiling Mounted, Wet Mounted		
Electrical Breaker Panel		

SMOKE DETECTORS & CARBON DETECTORS COMBINATION ALARM.

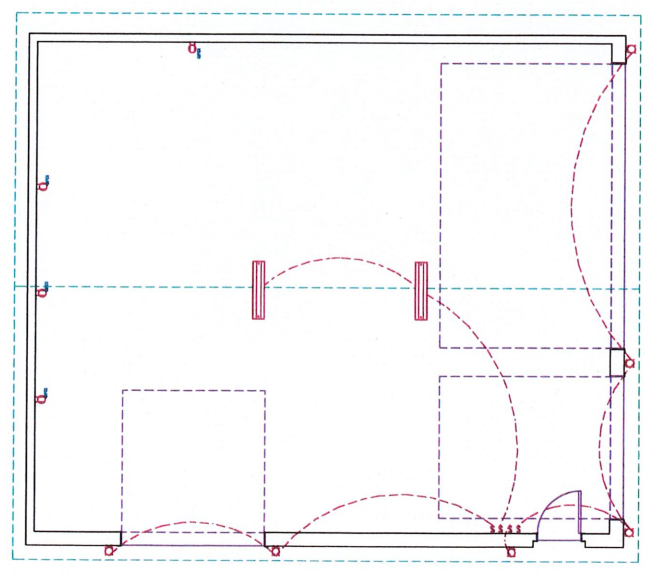
EXHAUST FAN

SMOKE DETECTORS & CARBON DETECTORS TO BE HARD WIRED & BATTERY OPERATED.

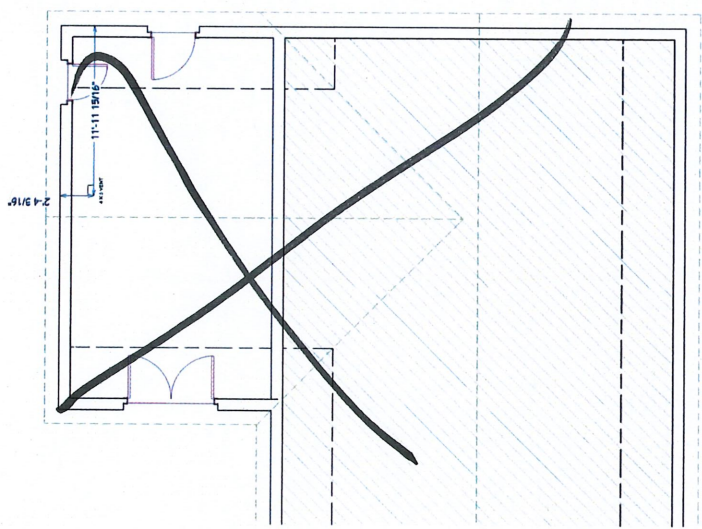
ALL ELECTRICAL TO BE DONE BY 2020 N.E.C. CODE.

NOTE - GFCI ON KITCHEN, BATHROOMS, & GARAGE.

EXHAUST FANS TO BE IN EVERY BATHROOM.



GARAGE ELECTRICAL PLAN



NONE ADDITION HVAC PLAN



[illegible]