

CITY OF DEER PARK

Variance



LN- 001900 -2025

PERMIT #: LN- 001900 -2025

PROJECT:

ISSUED DATE:

EXPIRATION DATE:

PROJECT ADDRESS: 7418 OSCAR LN

OWNER NAME: Daniel Oguaraidu

CONTRACTOR:

ADDRESS: 7418 Oscar Ln

ADDRESS:

CITY: Deer Park

CITY:

STATE: TX

STATE:

ZIP: 77536

ZIP:

PHONE:

PROJECT DETAILS

PROPOSED USE:

SQ FT:

0

DESCRIPTION: Requesting A Variance For 25 Feet
To The Width Of A Driveway.

VALUATION:

\$0.00

PERMIT FEES

TOTAL FEES: \$250.00

PAID: \$250.00

BALANCE: \$0.00

ALL PERMITS MUST BE POSTED ON THE JOBSITE AND VISIBLE FROM THE STREET

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 1 YEAR AT ANY TIME AFTER WORK IS STARTED. ALL PERMITS ARE SUBJECT TO THE FOLLOWING:

- ALL WORK MUST COMPLY WITH THE BUILDING, ELECTRICAL, PLUMBING, AND MECHANICAL CODES ADOPTED BY THE CITY OF DEER PARK AT THE TIME THE PERMIT IS ISSUED.
- IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO COMPLY WITH ALL STATE & FEDERAL DISABILITY REQUIREMENT
- ENCROACHMENTS OF EASEMENTS AND RIGHT-OF-WAYS ARE NOT ALLOWED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

DATE

REVIEWED FOR CODE COMPLIANCE BY

DATE

TO SCHEDULE NEXT DAY INSPECTIONS CALL BY 4PM 281-478-7270
ALL REINSPECTIONS ARE SUBJECT TO A \$45.00 REINSPECTION FEE

You can request a morning or afternoon inspection and we will do our best to accommodate you but there are no guarantees, it will depend on the volume of inspections scheduled that day.

710 E San Augustine Deer Park, TX 77536 Fax 281-478-0394
www.deerparktx.gov/publicworks

From:

Daniel Oguaraidu
7418 Oscar Lane, Deer Park, TX, 77536
832-312-1652
Oguaraidu40@outlook.com
Date: 10/7/2025

To:

City of Deer Park
Planning and Zoning Commission
Public Works Department
710 East San Augustine
Deer Park, TX 77536

Subject: Request for Variance – Separation of Driveway

Dear Planning and Zoning Commission Members,

I am writing to formally request a variance regarding the property located at 7418 Oscar Drive, Deer Park, TX 77536].

Reason for Request:

This variance is requested for the separation of the driveway, measuring approximately 18' x 40', due to limited parking availability and the prohibition of parking on grass areas. The property currently lacks sufficient paved parking space to accommodate residents and visitors while complying with city parking regulations.

The requested variance seeks relief from the 25-foot driveway separation requirement specified in the City of Deer Park Zoning Ordinance. Granting this variance will allow for functional driveway access and adequate paved parking, ensuring the property remains in compliance with city standards while avoiding damage to grass or landscaped areas caused by improper parking.

A site plan, drawn to scale, is attached to illustrate the existing layout and the proposed driveway separation.

Variance Requested:

Request for 25' variance from the required separation of driveways standard under the City of Deer Park Zoning Ordinance.

I appreciate your time and consideration of this request. I or my representative will be present at the next scheduled Planning and Zoning Commission public hearing to answer any questions the Commission may have.

Thank you for your attention to this matter.

Sincerely,

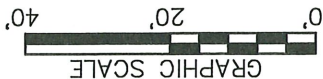
Daniel Oguaraidu

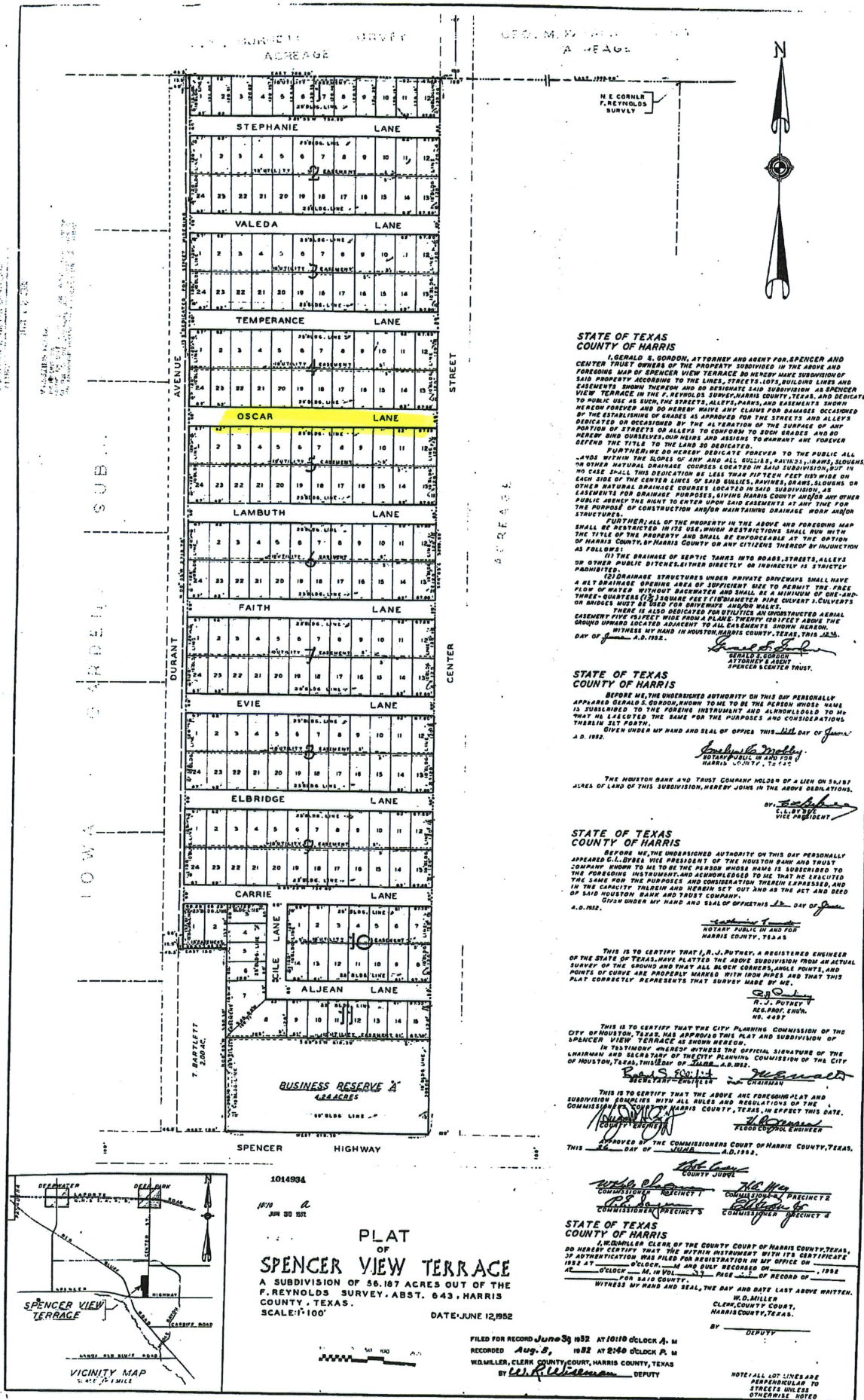
A handwritten signature in black ink, appearing to read "Dan Oguaraidu", written in a cursive style.

I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, IS CORRECT AND THERE ARE NO ENCROACHMENTS EXCEPT SHOWN, AS WAS DONE BY ME OR UNDER MY SUPERVISION, AND CONFORMS TO THE TEXAS BOARD OF PROFESSIONAL LAND SURVEYING.

LEGEND

IRON ROAD	R		
UTILITY EASEMENT	U/E		
BUILDING LINE	BL		
RAIL EASEMENT	RA		
WOOD FENCE	W/F		
WIRE FENCE	X		
CHAIN LINK FENCE	CL		
CONCRETE	C		
WOOD	W		
CONTROL MOMENT	CM		
(CA)			





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