

MAXWELL ADULT CENTER ADDITION

PROJECT INFORMATION

MAXWELL ADULT CENTER RENOVATION
1201 CENTER ST.
DEER PARK, TEXAS 77536

ONE STORY RENOVATION/ADDITION BUILDING OFFICES AND COMMUNITY RECREATION SPACES WITH SURFACE PARKING. THE EXTERIOR DESIGN OF THE BUILDING IS A MIXTURE OF EPS WITH ALUMINUM FRAMING AND E-COATED GLAZING.

ADOPTED BUILDING CODES*

2012 INTERNATIONAL BUILDING CODE (COMMERCIAL)
2015 INTERNATIONAL MECHANICAL CODE
2015 NATIONAL ELECTRICAL CODE
2015 INTERNATIONAL PLUMBING CODE
2015 INTERNATIONAL FIRE CODE
2009 INTERNATIONAL ENERGY CONSERVATION CODE
2006 INTERNATIONAL FUEL & GAS CODE
2012 TEXAS ACCESSIBILITY STANDARDS
2004 TEXAS HEALTH CODE

*ALL CODES REQUIREMENTS TO INCLUDE LOCAL AMMENDMENTS

OCCUPANCY AND CONSTRUCTION TYPE

OCCUPANCY TYPE	A
CONSTRUCTION TYPE	II-B

*REFERENCE CODE PLAN FOR ADDITIONAL INFORMATION

GROSS BUILDING AREA

BUILDING	AREA
EXISTING BUILDING	7,947 SF
ADDITION	1,025 SF
	8,972 SF

PROJECT CONTACTS

OWNER

CITY OF DEER PARK
SCOTT SWIGERT
P.O. BOX 700, 710 EAST SAN AUGUSTINE
DEER PARK, TEXAS 77536
281-478-2058 (T)

ARCHITECT

BRINKLEY SARGENT WIGINTON ARCHITECTS
5000 QUORUM DRIVE, SUITE 600
DALLAS, TX 75254
972-960-9970 (T)
972-960-9751 (F)

CIVIL

HALFF ASSOCIATES
14800 ST. MARY'S LANE, SUITE 160
HOUSTON, TEXAS 77079
713-588-2450 (T)
111-111-1111 (F)

STRUCTURAL

SCHMITZ PARTNERS ENGINEERS
2825 WILCREST DRIVE
HOUSTON, TEXAS 77042
281-627-3006 (T)
111-111-1111 (F)

MEP

STANTON ENGINEERING GROUP
1300 W. SAM HOUSTON PKWY, SUITE 121
HOUSTON, TEXAS 77042
713-300-9292 (T)
111-111-1111 (F)

LANDSCAPE

HALFF ASSOCIATES INC.
9500 AMBERGLEN BLVD. BUILDING F, SUITE 125
AUSTIN, TEXAS 78729
512-777-4600 (T)
111-111-1111 (F)

GENERAL NOTES

1. FIRST LEVEL FINISH FLOOR ELEVATION : 100'-0" = XXX.XX

2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR & OBTAIN ALL PERMITS & LICENSES, & PAY ANY REQUIRED FEES.

3. IN GENERAL, WORK UNDER THIS CONTRACT INCLUDES SITE WORK, DEMOLITION, FOUNDATIONS, STRUCT. WORK AS REQUIRED TO ENCLOSE THE BLDG. FLOOR SLABS, INTERIOR PARTITIONS, INTERIOR FINISHES, WALL SECTIONS, AQUATICS, MECHANICAL & ELECTRICAL WORK AS SPECIFIED & INDICATED ON THESE DOCUMENTS.

4. PRIOR TO COMMENCEMENT OF WORK, THE CONTRACTOR SHALL CONTACT ALL UTILITY COMPANIES, HAVING JURISDICTION TO VERIFY LOCATION OF ALL EXISTING UTILITY LINES & ANY OTHER FEATURES UNIQUE TO THIS PROJECT.

5. DIMENSIONS: ALL PLAN DIMENSIONS ARE FROM FACE OF MASONRY OR FACE OF STUD, UNLESS NOTED OR SHOWN OTHERWISE.

6. NO EXPOSED STUDS WILL BE PERMITTED IN AREAS ACCESSIBLE TO THE PUBLIC REGARDLESS OF LOCATION.

7. ALL GYPSUM BOARD SHALL BE TAPED, BEDDED & SANDED & HAVE ALL HOLES & VOIDS SEALED, UNLESS NOTED OTHERWISE ON DRAWINGS.

8. CONDUIT IS NOT TO BE EXPOSED IN ANY PUBLIC SPACES TO THE EXTENT POSSIBLE. COORDINATE WIRING OF ALL DEVICES TO MOUNT FLUSH AGAINST WALLS. CONDUIT MAY RUN EXPOSED IN MECHANICAL SPACES & AT EXPOSED CEILINGS ONLY.

9. ALL PENETRATIONS OF PIPES, CONDUITS, DUCTS, VENTS, ETC. SHALL BE TIGHTLY SEALED TO PREVENT PASSAGE OF SMOKE & FIRE COMMENSURATE WITH THE RATINGS OF THE PARTITION (WALL). MATERIAL OR FINISHES NOTED ON DRAWINGS ARE FOR GENERAL INFORMATION & TO FACILITATE INTERPRETATION OF THE DRAWINGS. THE CONTRACTOR SHALL FURNISH OTHER MATERIALS, ACCESSORIES & OR FINISHES AS REQUIRED TO COMPLETE WORK.

11. CONTRACTOR SHALL, IN THE WORK OF ALL TRADES, PERFORM ANY & ALL CUTTING, PATCHING, REPAIRING, RESTORING & THE LIKE NECESSARY TO COMPLETE THE WORK & TO RESTORE ANY DAMAGED OR AFFECTED SURFACES RESULTING FROM THE WORK OF THESE CONTRACTS TO A FINISHED CONDITION TO THE SATISFACTION OF THE ARCHITECT & OWNER.

12. ALL MATERIALS & FINISHES USED ON THIS PROJECT SHALL BE NEW & UNUSED.

13. C.G. HEIGHTS NOTED ON DRAWINGS ARE FROM FINISH FLOOR TO C.G., UNLESS NOTED OTHERWISE.

14. FOR SIZE & LOCATION OF ALL OPENINGS & FOR MECHANICAL DUCTWORK & PLUMBING, SEE MECHANICAL & STRUCT. DRAWINGS.

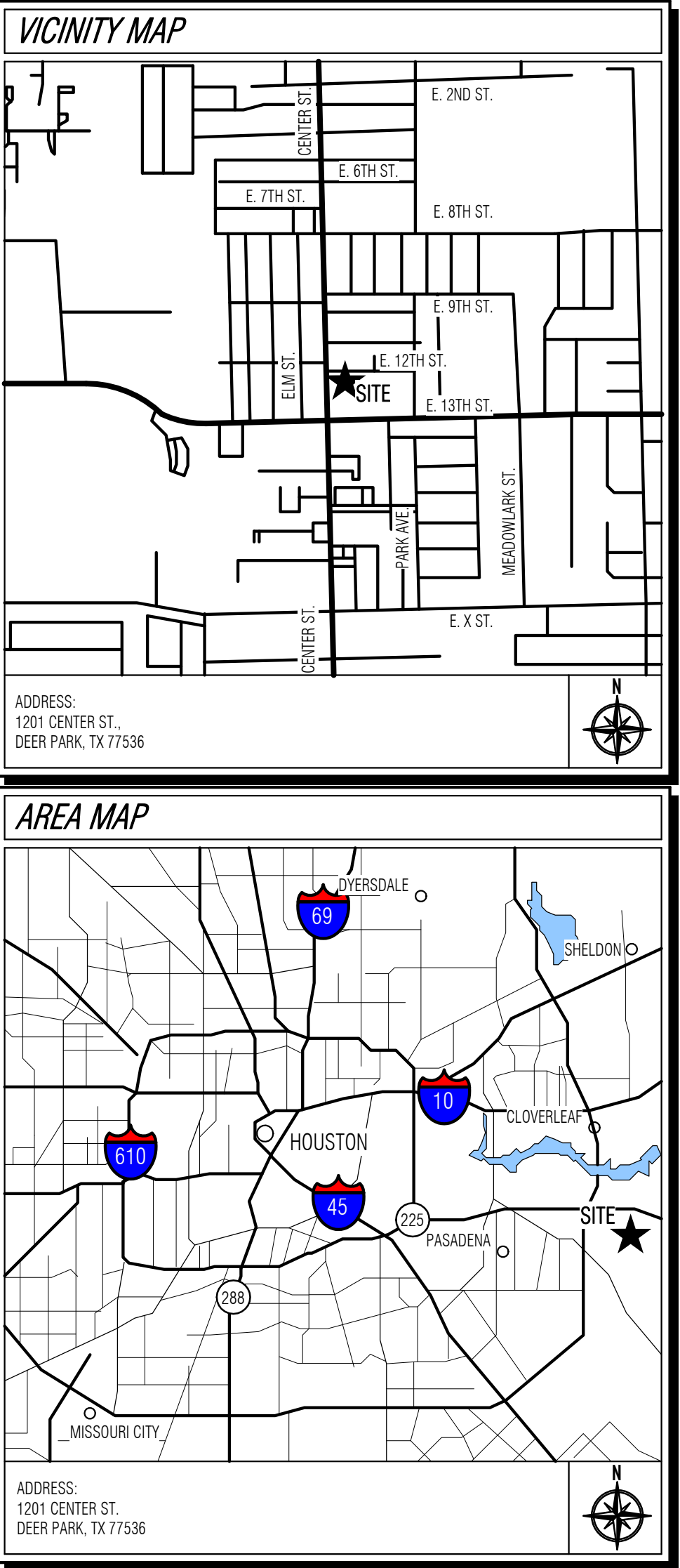
15. WHERE FACTORY FINISHED OR FACTORY PRIMED ITEMS, SUCH AS GRILLES, DIFFUSERS, MTL. TRIM & ACCESSORIES OCCUR, THEY SHALL BE PAINTED TO MATCH THE ADJACENT SURFACE OR AS DIRECTED BY THE ARCHITECT.

16. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS & DIMENSIONS AT THE JOB SITE WHICH MAY AFFECT THIS WORK PRIOR TO STARTING THE WORK & SHALL NOTIFY THE OWNER & ARCHITECT OF ANY DISCREPANCIES IMMEDIATELY UPON DISCOVERY.

17. PROVIDE BLOCKING OR GROUTED CMU CELLS BEHIND ALL SIGNS, FIXTURES, PARTITIONS, ACCESSORIES, ETC., & WHERE INDICATED OR REQUIRED TO INSURE PROPER & SECURE INSTALLATION OF SUCH ITEMS.

18. THESE DRAWINGS ARE THE SOLE PROPERTY OF BRINKLEY SARGENT WIGINTON ARCHITECTS, INC. THE USE OR RE-USE OF THESE DRAWINGS IS HEREBY RESTRICTED TO THE ORIGINAL SITE FOR WHICH THEY WERE PREPARED. REPRODUCTION OF THESE DRAWINGS, IN WHOLE OR IN PART, WITHOUT THE WRITTEN PERMISSION OF THE ARCHITECT IS HEREBY PROHIBITED. COPYRIGHT BRINKLEY SARGENT WIGINTON ARCHITECTS 2017.

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ABBREVIATIONS			
A1	AND	MAINT	MAINTENANCE
	AT	MAT	MATERIAL
ACT	ACOUSTIC CEILING TILE	MAX	MAXIMUM
ADA	AMERICANS WITH DISABILITIES ACT	MECH	MECHANICAL
ADD	ADDENDUM	MIC	MICROPHONE
AFF	ABOVE FINISH FLOOR	MISC	MISCELLANEOUS
ALT	ALTERNATE	MFR	MANUFACTURER
ALUM	ALUMINUM	MN	MINIMUM
ARCH	ARCHITECTURAL	MTD	MOUNTED
		MTL	METAL
BO	BOARD		
BLDG	BUILDING	N	NORTH
BOO	BOTTOM OF DECK	NC	NOT IN CONTRACT
		NAMES	NAMES
CFCI	CONTRACTOR FURNISHED CONTRACTOR INSTL	NOM	NOMINAL
CG	CORNER GUARD	NRC	NOISE REDUCTION COEFFICIENT
CJ	CONTROL JOINT	NTS	NOT TO SCALE
CLG	CEILING		
CLR	CLEAR	O.C.	ON CENTER
CMU	CONCRETE MASONRY UNIT	OFI	OWNER FURNISHED CONTRACTOR INSTALLED
COL	COLUMN	OFI	OWNER FURNISHED OWNER INSTALLED
CONC	CONCRETE	OH	OPPOSITE HAND
CONF	CONFERENCE	CHD	OVERHEAD DOOR
CONT	CONTINUOUS	OZ	OUNCE
CPT	CARPET		
CT	CERAMIC TILE	PERF	PERFORATED
		PERIM	PERIMETER
DBL	DOUBLE	PNL	PERFECTICULAR
DEM	DEMOLISH/DEMOLITION	PLAM	PLASTIC LAMINATE
DEPT	DEPARTMENT	PLUMB	PLUMBING
DA	DIAMETER	PLWD	PLYWOOD
DM	DIMENSION	PR	PROPOSAL REQUEST
DN	DOWN	PRETAB	PRECAST
DOOR	DOOR	PT	PRESSURE TREATED
DWR	DRAWER	PNT	PAINT
DWG	DRAWING	PVC	POLYVINYL CHLORIDE
		PVT	PRIVATE
EA	EACH	PWR	POWER
EFS	EXTERIOR INSULATION AND FINISH SYSTEM		
EXP	EXPANSION JOINT	RAD	RADIUS
ELEC	ELECTRICAL	REBAR	REINFORCING BAR
ELEV	ELEVATION / ELEVATOR	RECOM	RECOMMENDED
EQ	EQUIPMENT	REF	REFERENCE
EQUIP	EQUIPMENT	REFR	REFRIGERATOR
EXIST	EXISTING	REG	REGULAR
EXT	EXTERIOR	REIN	REINFORCING
		REM	REMOVE
FAR	FLOOR AREA RATIO	REQ	REQUIRED
FE	FIRE EXTINGUISHER	RFI	REQUEST FOR INFORMATION
FD	FLOOR DRAIN	RO	ROUGH OPENING
FDC	FIRE DEPARTMENT CONTROL	ROW	RIGHT OF WAY
FEC	FIRE EXTINGUISHER CABINET	RPW	REVOLUTIONS PER MINUTE
FF	FINISH FLOOR	RWC	RAIN WATER CONDUCTOR
FFE	FINISH FLOOR ELEVATION	RWL	RAIN WATER LEADER
FFBE	FFBE FURNISHINGS & EQUIPMENT		
FLOUR	FLOURESCENT	SN	SANITARY
FLR	FLOOR	SCHED	SCHEDULE
FD	FACE OF	SHR	SHOWER
FC	FACE OF CONCRETE	SF	SQUARE FEET
FF	FACE OF FINISH	SI	SUPPLEMENTAL INSTRUCTION
FOS	FACE OF STUD	SIM	SIMILAR
		SPEC	SPECIFICATION
GA	GAUGE	SPK	SPEAKER
GALV	GALVANIZED	SS	STAINLESS STEEL
GWB	GYPSUM WALL BOARD	STL	STEEL
GYP	GYPSUM	STRUCT	STRUCTURAL
		SYS	SYSTEM
HB	HOSE BIB	T&G	TONGUE AND GROOVE
HGT	HEIGHT	TAN	TANGENT
HMTL	HOLLOW METAL	TO	TOP OF CURB
HORIZ	HORIZONTAL	TO	TRENCH DRAIN
HT	HEIGHT	TELE	TELEPHONE
HVAC	HEATING, VENTILATING AND AIR CONDITIONING	TEMP	TEMPERATURE
HW	HARDWARE	TLT	TOILET
HWD	HARDWOOD	TOS	TOP OF STEEL
		TOT	TOP OF CONCRETE
ILO	IN LIEU OF	TPD	THERMOPLASTIC POLYOLEFIN
INFO	INFORMATION	TYP	TYPICAL
INSUL	INSULATION		
INT	INTERIOR	UNO	UNLESS NOTED OTHERWISE
		VAC	VACUUM
J-BOX	JUNCTION BOX	VERT	VERTICAL
JAN	JANITOR	VEST	VESTIBULE
JCT	JUNCTION	VF	VERIFY IN FIELD
JOINT	JOINT	VWC	VINYL WALL COVERING
		W/	WITH
LAV	LAVATORY	W/O	WITHOUT
LCD	LIQUID CRYSTAL DIODE	WC	WATER CLOSET
LED	LIGHT EMITTING DIODE	WD	WOOD
LT	LIGHT	WDW	WINDOW
LTG	LIGHTING	WF	WIDE FLANGE
		WH	WATER HEATER

SYMBOL LEGEND			
	SECTION REFERENCE		ROOM TAG NAME & NUMBER
	SECTION DETAIL REFERENCE		ROOM TAG NUMBER ONLY
	DETAIL REFERENCE		DOOR TAG
	EXTERIOR ELEVATION		EQUIPMENT TAG
	INTERIOR ELEVATION		GLAZING TAG
	WALL TAG		WINDOW TAG
	ELEVATION DATUM		SPOT ELEVATION
	TRUE NORTH ARROW		PLAN NORTH ARROW

LIST OF DRAWINGS	
SHEET NO.	DRAWING TITLE
CVR	COVER SHEET
STRUCTURAL	
S101	FOUNDATION AND ROOF FRAMING PLANS
S401	FOUNDATION DETAILS
S601	ROOF DETAILS
ARCHITECTURAL	
A000	TEXAS ACCESSIBILITY STANDARDS (TAS)
A201	LEVEL 1 - PARTIAL SITE AND SLAB EDGE PLAN
A211	LEVEL 1 - DEMOLITION AND RENOVATION REFERENCE PLANS
A212	LEVEL 1 - RENOVATION PLAN EQUIPMENT INTERIOR ELEVATIONS AND SCHEDULE
A290	DEMOLITION AND RENOVATION ROOF PLANS
A291	ROOF DETAILS
A301	DEMOLITION AND RENOVATION REFLECTED CEILING PLANS
A401	BUILDING ELEVATIONS, CANOPY PLAN AND DETAILS
A402	BUILDING ELEVATIONS, CANOPY PLAN AND DETAILS
A411	3D RENDERED VIEWS
A501	BUILDING SECTIONS
A511	WALL SECTIONS
A521	SECTION DETAILS
A601	PLAN DETAILS
A701	DOOR SCHEDULE DOOR TYPES AND DETAILS
A801	FINISH LEGEND, SCHEDULE, NOTES AND FINISH FLOOR PLAN
A811	DO FLOOR FINISH PLAN
A901	INTERIOR ELEVATIONS
A902	INTERIOR ELEVATIONS & CONTROL DESK
A921	MILLWORK SECTIONS
Q2001	FLOOR PLAN-DO NOTES
MEP	
MEP 100	MEP SITE PLAN
MECHANICAL	
M101	MECHANICAL FLOOR PLAN
M200	MECHANICAL SCHEDULES AND DETAILS
M201	MECHANICAL SCHEDULE AND DETAILS
ELECTRICAL	
E101	LIGHTING FLOOR PLANS
E200	POWER DEMO FLOOR PLAN & MECH/ELEC COORDINATION PLAN
E201	POWER FLOOR PLAN
E400	ELECTRICAL SCHEMATIC AND PANEL SCHEDULES
E500	ELECTRICAL SCHEDULES AND DETAILS
E501	ELECTRICAL DETAILS
PLUMBING	
P101	PLUMBING FLOOR PLAN
P200	PLUMBING SCHEDULE AND DETAILS
P201	PLUMBING SCHEDULE AND DETAILS

Maxwell Adult Center Addition

Architect: Brinkley Sargent Wiginton Architects (972) 960-9970
Landscaper: Half Associates Inc. (512) 777-4600
Structural: Schmitz Partners Engineers (281) 627-3006
MEP: Stanton Engineering Group (713) 300-9292
Civil: Half Associates Inc. (713) 588-2450

HISTORY

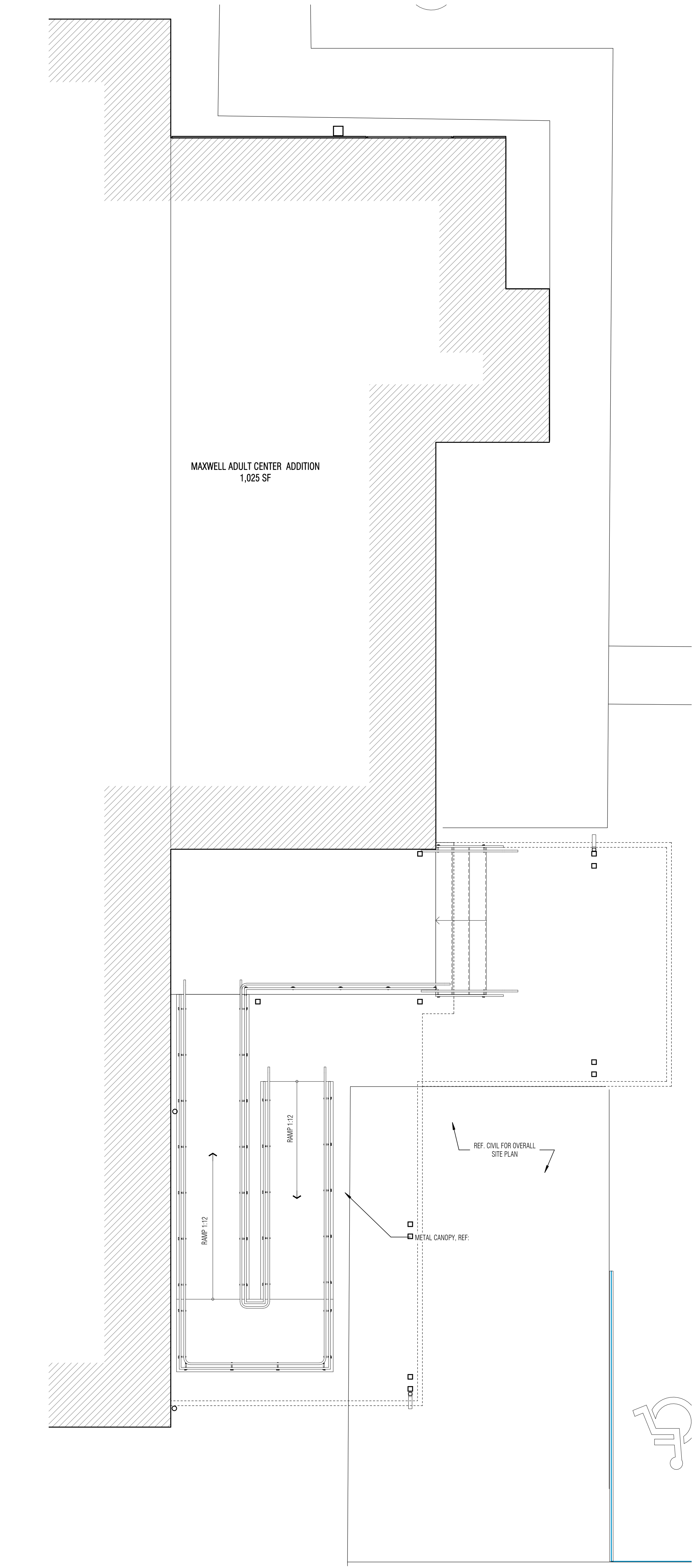
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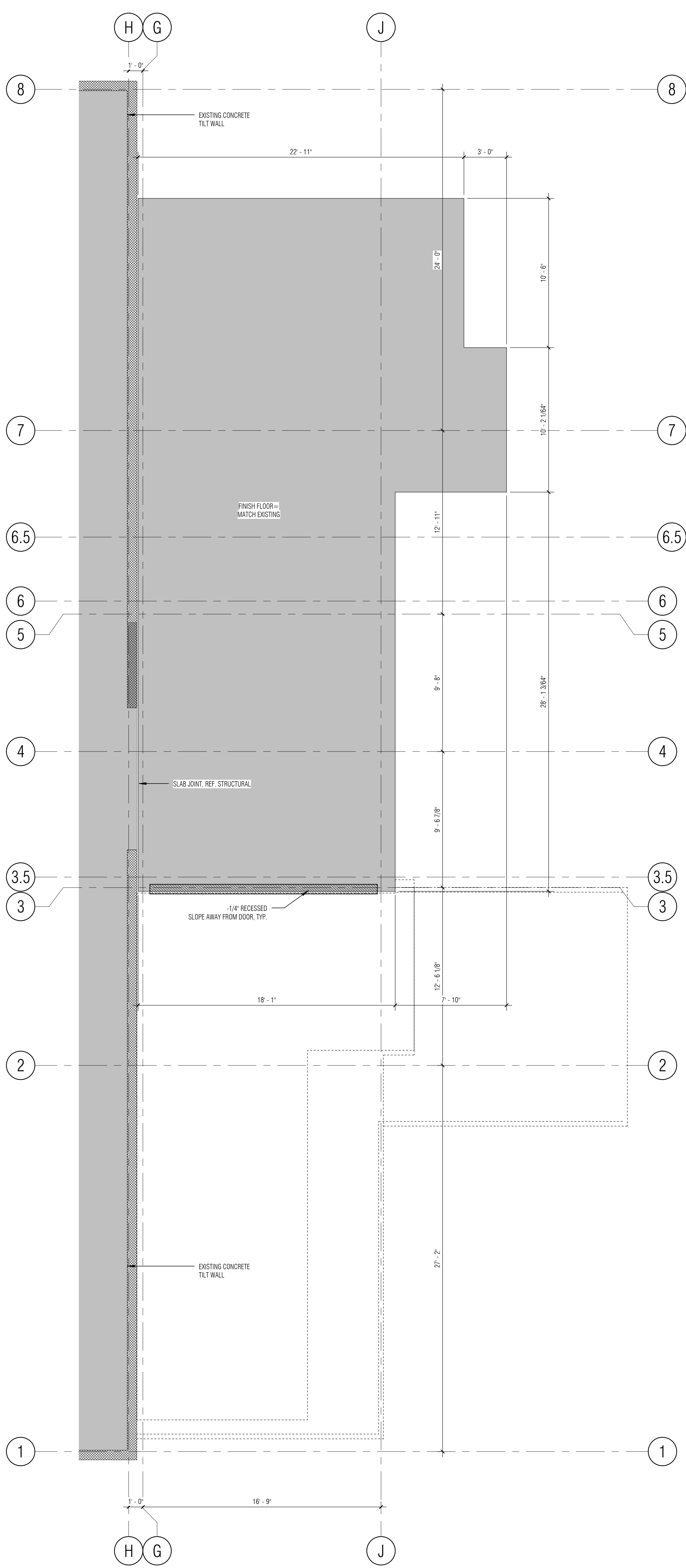
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STEPHEN SPRINGS, AIA
TEXAS LIC. #17802
03/03/2017

COVER SHEET



1 ENTRY SITE PLAN
SCALE: 1/4" = 1'-0"



2 SLAB EDGE PLAN
SCALE: 1/4" = 1'-0"

SLAB EDGE LEGEND

(+0') CONCRETE SLAB

1'-1/4" RECESS (AT DOOR LOCATIONS, SLOPE AWAY FROM DOOR AND BUILDING MAX 2%)

ELECTRICAL FLOOR BOX

SHEET NOTES:

- SLAB EDGE PROVIDED FOR HORIZONTAL CONTROL OF POURED SLABS RELATED TO EDGES, OPENINGS, RECESSES, MAJOR PIPE PENETRATIONS, FLOOR BOXES AND BRICK LEDGES. COORDINATE WITH STRUCTURAL DRAWINGS. ALERT ARCHITECT TO DISCREPANCIES BETWEEN ARCHITECTURAL AND STRUCTURAL DRAWINGS.
- PIPE SLEEVE LOCATIONS ARE NOT PROVIDED FOR ALL PIPE PENETRATIONS. JUST THOSE THROUGH CONCRETE BEAMS WHERE LOCATION IS CRITICAL. REFERENCE PLUMBING DRAWINGS FOR PIPE SIZES AND ADDITIONAL PENETRATION LOCATIONS.
- ELECTRICAL FLOOR BOXES SHOWN FOR LOCATION PURPOSES. REFERENCE ELECTRICAL DRAWINGS FOR BOX TYPE AND SIZE.

Maxwell Adult Center Addition

1201 CENTER ST, DEER PARK, TX 77536

HISTORY		
#	DATE	DESCRIPTION

PROGRESS PRINT

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STEPHEN SPRINGS, AIA
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LEVEL 1 - PARTIAL
SITE AND SLAB EDGE
PLAN

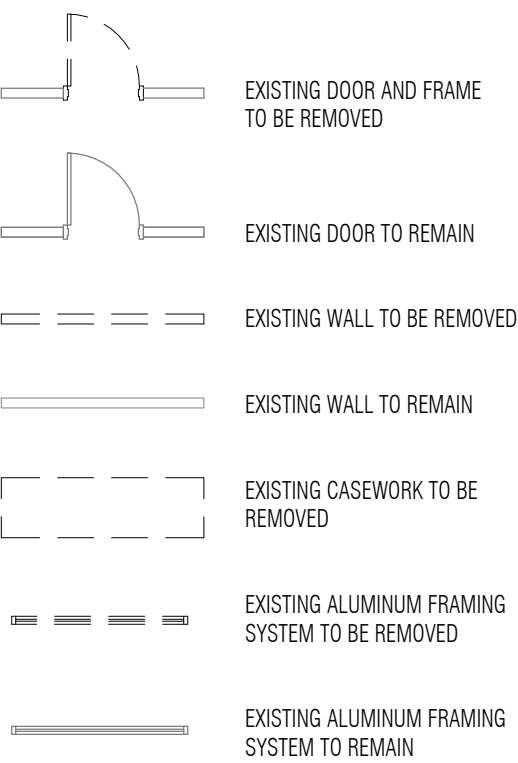
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ROOM SCHEDULE (EXISTING)		
NUMBER	ENTRY	NAME
01	ENTRY	
02	UNISEX TOILET	
03	STORAGE	
04	OFFICE	
05	CRAFTS & QUILTING	
06	KITCHEN	
07	DINING/MULTI-PURPOSE	
08	OFFICE	
09	GAME ROOM/MEETING	
101	GAME ROOM/MEETING	
102	OFFICE	
103	JANITOR/STORAGE	
104	JANITOR	
105	HALL	
106	LOUNGE	
107	MEN	
108	WOMEN	
109	ELEC./DATA	
110	KILN	
111	CARDIO	
112	OFFICE	
113	ARTS & CRAFTS	

DEMOLITION NOTES

- * PRIOR TO START OF ANY DEMO WORK, ENSURE THAT OWNER HAS REMOVED EVERYTHING THEY WANT TO KEEP FROM THE BUILDING.
- THESE DOCUMENTS ARE BASED ON THE BEST AVAILABLE AS-BUILT INFORMATION AVAILABLE. THIS INFORMATION HAS ALSO BEEN MADE AVAILABLE TO CONTRACTORS. SUCH INFORMATION CANNOT BE GUARANTEED TO BE ABSOLUTELY ACCURATE. CONTRACTOR SHALL BRING ALL DISCREPANCIES TO THE ATTENTION OF THE ARCHITECT AS SOON AS KNOWN AND AVOID WORK IN QUESTIONED AREA UNTIL A COURSE OF ACTION HAS BEEN AGREED UPON BY OWNER, ARCHITECT, AND CONTRACTOR.
- PROVIDE AND ALL PROTECTIONS AS NECESSARY TO PREVENT ACCESS TO WORK AREAS BY UNAUTHORIZED PERSONS.
 - DASHED WALLS ON DEMOLITION PLAN INDICATE EXISTING MATERIALS TO BE REMOVED. ALL ITEMS WITHIN OR ATTACHED TO THESE WALLS ARE TO BE REMOVED AS WELL.
 - REPAIR EXISTING CONSTRUCTION (AS REQUIRED) TO MATCH ADJACENT CONSTRUCTION IN QUALITY, SIZE, TEXTURE, AND FINISH WHERE DAMAGED BY DEMOLITION WORK.
 - REPAIR ALL SURFACES DAMAGED BY DEMOLITION TO RECEIVE NEW FINISH MATERIAL.
 - ALSO REFER TO DEMOLITION CEILING PLAN FOR FURTHER INFORMATION.
 - ALSO REFER TO MEP DRAWINGS FOR DEMOLITION INFORMATION REGARDING MECHANICAL AND ELECTRICAL WORK.
 - ALSO REFER TO STRUCTURAL DRAWINGS FOR INFORMATION REGARDING CREATION AND REPAIR OF NEW OPENINGS IN WALLS AND FLOORS.
 - ALL DEMOLITION EXPOSING THE INTERIOR OF THE BUILDING TO THE OUTSIDE ELEMENTS SHALL BE PROPERLY CONCEALED AND PROTECTED TO ELIMINATE ANY DAMAGE FROM VANDALISM OR WEATHER DURING CONSTRUCTION AND MAINTAIN BUILDING SECURITY.
 - IN ALL EXISTING AREAS TO BE REWORKED, REMOVE ALL MISCELLANEOUS EQUIPMENT ATTACHED TO WALLS, FLOORS, OR CEILING.
 - THE CONTRACTOR SHALL PROVIDE ALL SLAB CUTS AND ROOF PENETRATIONS REQUIRED FOR INSTALLATION OF NEW WORK AND PATCH BACK SAME TO MATCH EXISTING CONSTRUCTION.
 - ACQUIRE SPECIFIC APPROVAL FROM ARCHITECT BEFORE CORING NEW PENETRATIONS IN EXISTING STRUCTURES.
 - WHERE NEW FINISHES ARE SCHEDULED, EXISTING FINISHES ARE TO BE REMOVED AND ALL SURFACES PREPARED AS NECESSARY TO RECEIVE THE NEW FINISHES.
 - ALSO REFER TO DOOR SCHEDULE FOR FURTHER INFORMATION REGARDING DOORS AND FRAMES.
 - PATCH ALL CONDITION DAMAGED BY MEP REWORK.
 - PROTECT EXISTING FLOOR WITH WHERE APPLICABLE.

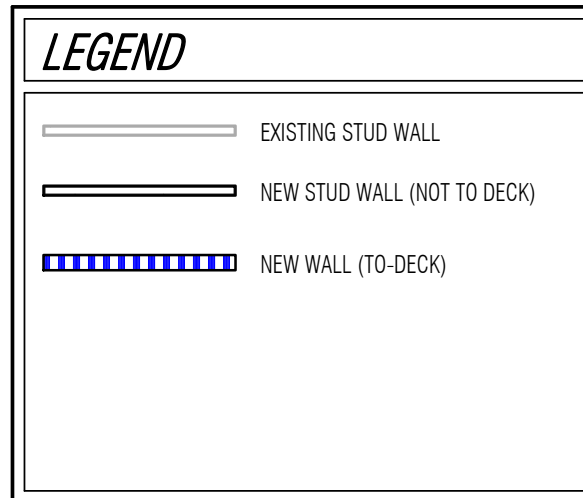
DEMOLITION LEGEND



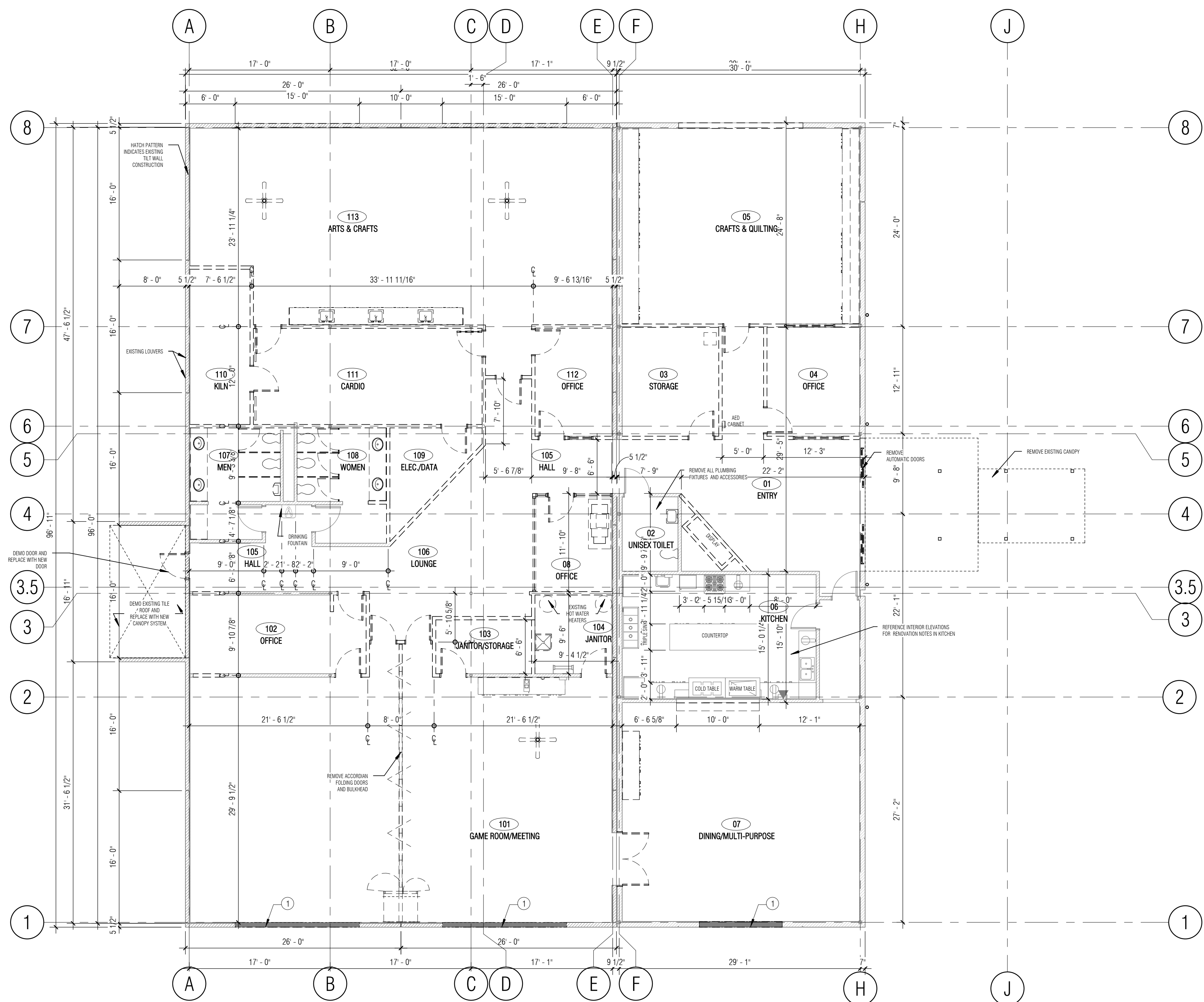
DEMOLITION KEYNOTES

- 1 CUT NEW OPENING FOR NEW ALUMINUM STOREFRONT SYSTEM. REF. STRUCTURAL, RENOVATION PLANS AND ELEVATIONS.

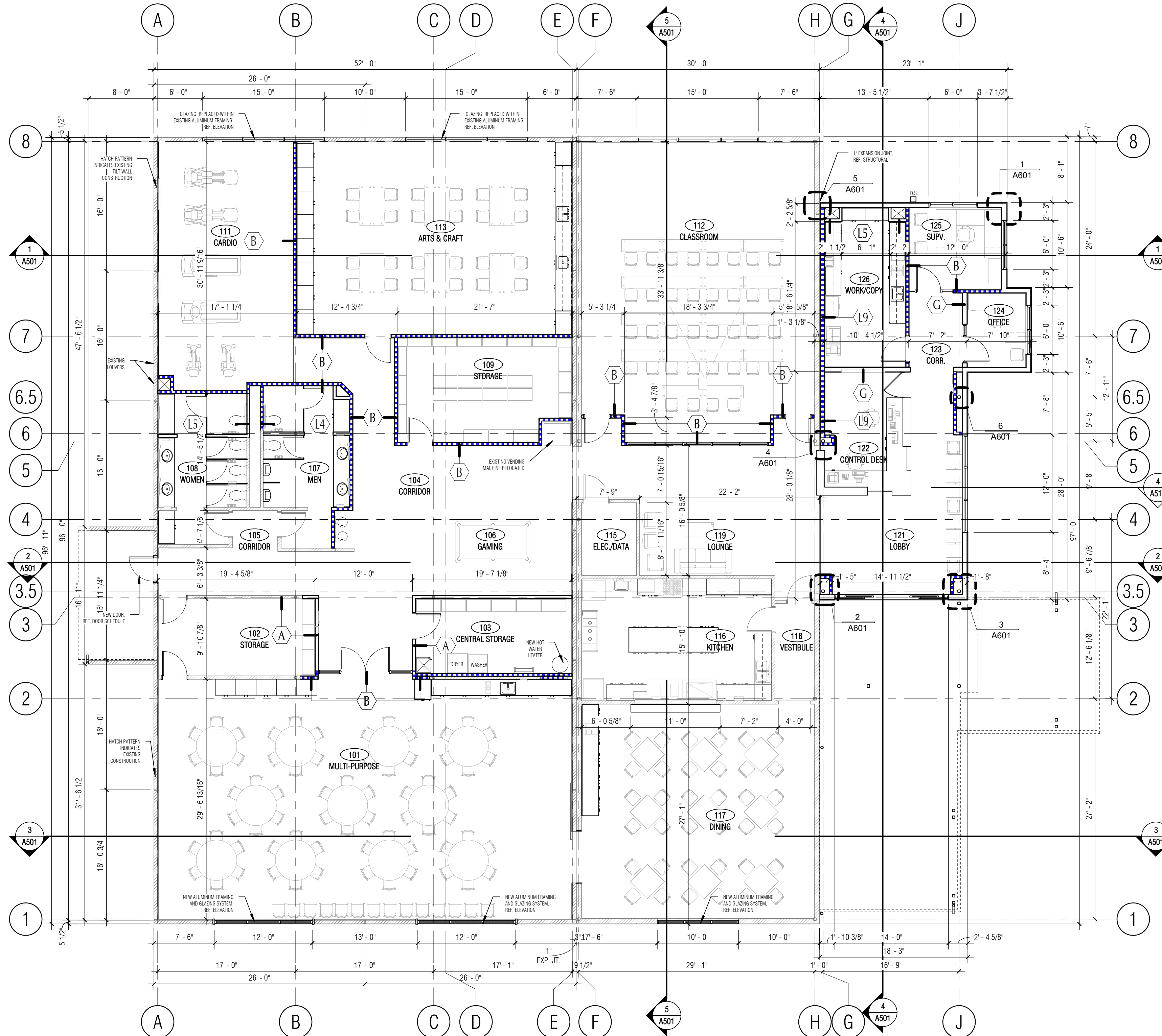
ROOM SCHEDULE (RENOVATION)	
NUMBER	ROOM NAME
101	MULTI-PURPOSE
102	STORAGE
103	CENTRAL STORAGE
104	CORRIDOR
105	CORRIDOR
106	GAMING
107	MEN
108	WOMEN
109	STORAGE
111	CARDIO
112	CLASSROOM
113	ARTS & CRAFT
114	STORAGE
115	ELEC./DATA
116	KITCHEN
117	DINING
118	VESTIBULE
119	LOUNGE
121	LOBBY
122	CONTROL DESK
123	CORR.
124	OFFICE
125	SUPV.
126	WORK/COPY



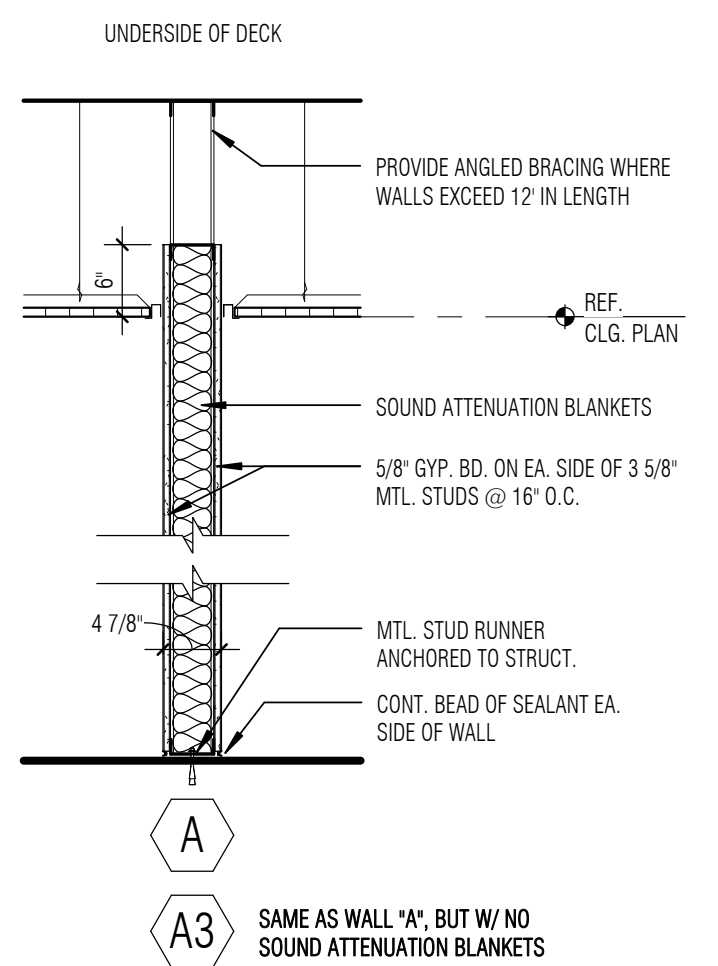
- SHEET NOTES:**
- STUD WALL DIMENSIONS ARE FACE OF STUD UNLESS NOTED OTHERWISE.
 - CMU WALL DIMENSIONS ARE FACE OF CMU UNLESS NOTED OTHERWISE.
 - PER SPECIFICATION 09 29 00 GYPSUM BOARD, USE TILE BACKER BOARD IN LIEU OF GYP AT LOCATIONS WHERE TILE IS CALLED OUT AS A WALL FINISH. REFERENCE FINISH SCHEDULE AND FINISH PLAN.
 - GRIND RADIUS PROFILE AT ALL CMU OUTSIDE CORNERS.
 - REFERENCE 3/AZ11 FOR PARTITION TYPES.
 - REFERENCE INTERIOR ELEVATIONS AND FINISH PLANS FOR LOCATIONS THAT MAY REQUIRE BACKER BOARD OR APPLIED FINISHES.
 - REFERENCE ENLARGED PLANS FOR ADDITIONAL DIMENSIONS, TAGS AND NOTES.
 - CEILING AT 9'-0" ABOVE FINISH FLOOR U.I.D.



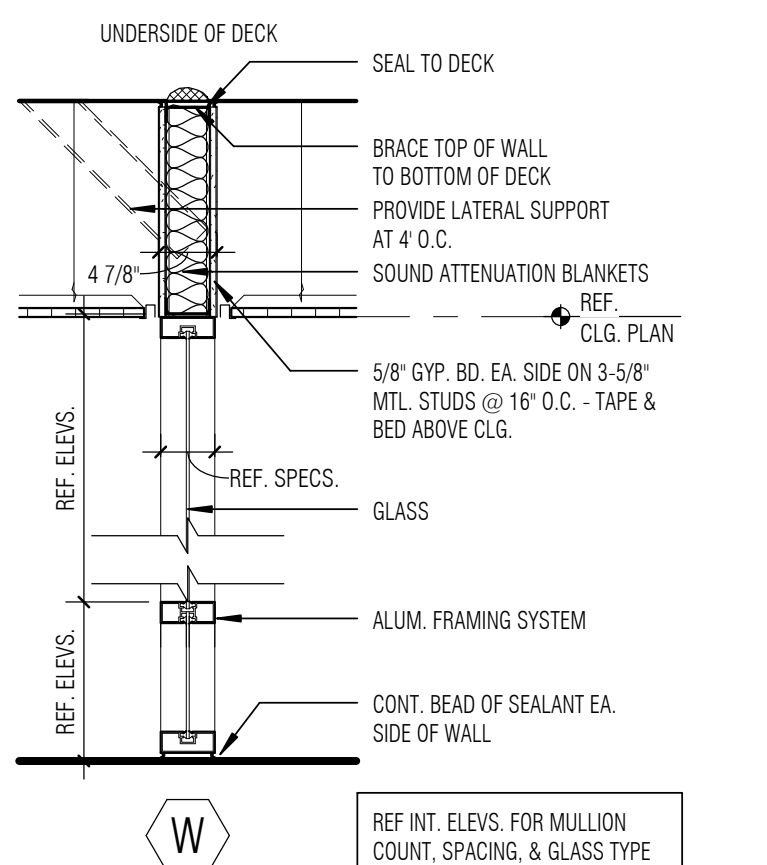
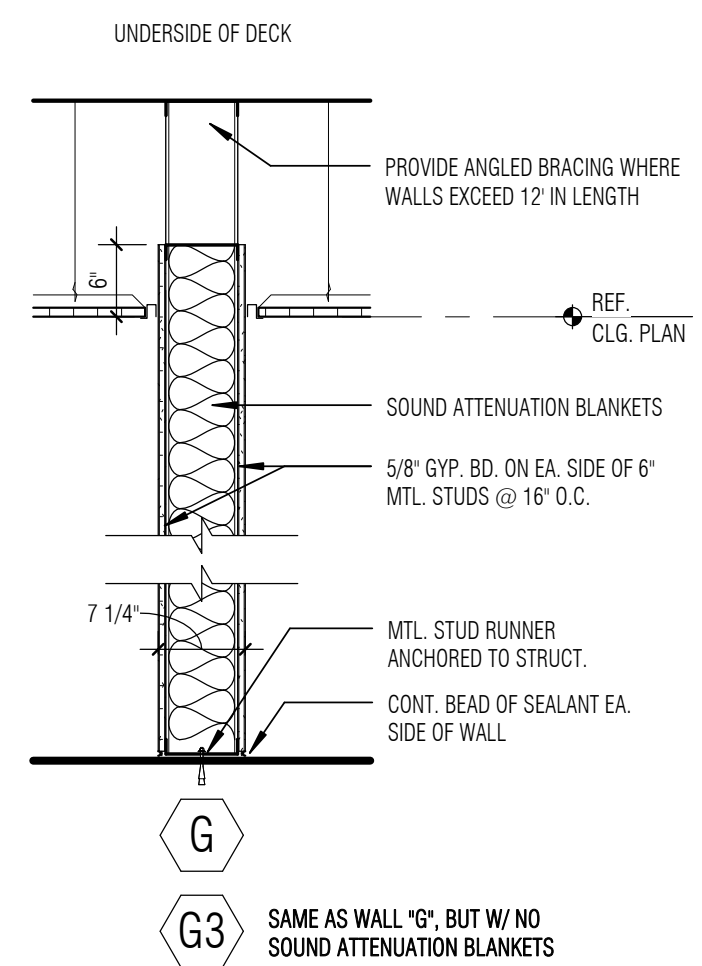
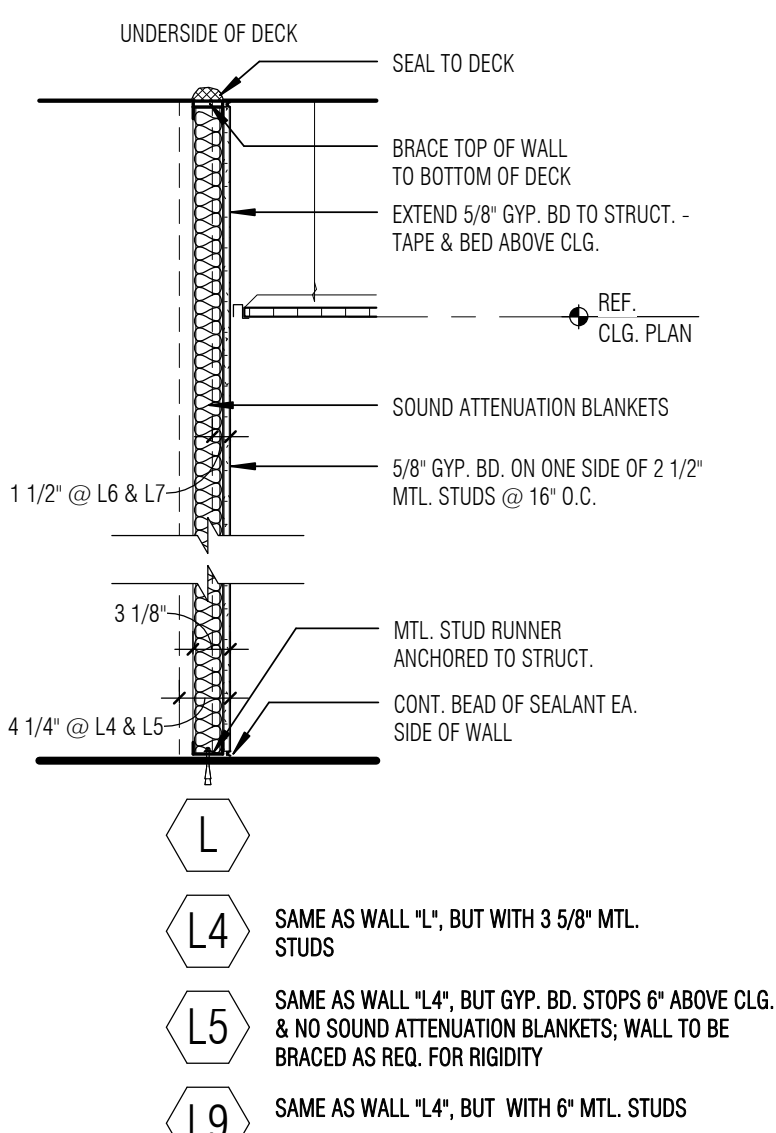
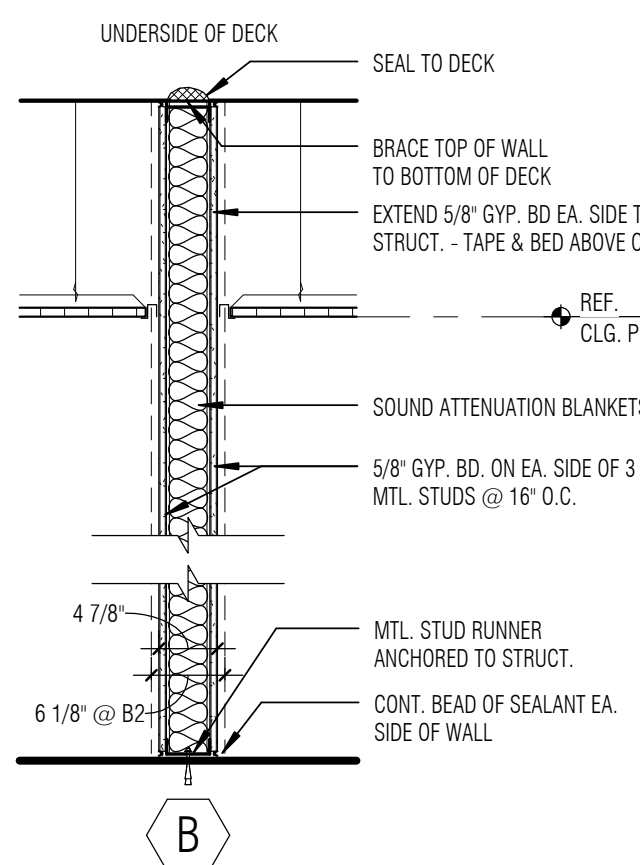
1 LEVEL 1 - DEMOLITION PLAN
SCALE: 1/8" = 1'-0"



2 LEVEL 1 - RENOVATION REFERENCE PLAN
SCALE: 1/8" = 1'-0"



3 PARTITION TYPES
SCALE: 3/4" = 1'-0"



- PARTITION TYPES GENERAL NOTES:**
- REFER TO INTERIOR ELEVATIONS FOR SPECIAL APPLIED FINISHES (TILE, STONE, FINISH CARPENTRY, ETC.).
 - REFER TO STRUCTURAL DRAWINGS FOR ADDITIONAL WALL CONSTRUCTION REQUIREMENTS.
 - ALL CMU WALLS TO RECEIVE CONTINUOUS HORIZONTAL REINFORCEMENT @ 16" O.C. VERTICALLY (MINIMUM) - TYP.
 - SECURITY WALL TYPES SHOWN ARE MINIMUM REQUIREMENTS FOR SECURITY WALLS. STRUCTURAL REQUIREMENTS OR STRUCTURAL DRAWINGS TAKE PRECEDENCE OVER SECURITY REQUIREMENTS - AND ARE IN LIEU OF OR ADDITIVE TO SECURITY REINFORCING.
 - NOT ALL PARTITION TYPES ON THIS SHEET ARE USED.

Maxwell Adult Center Addition

Architect: Brinkley Sargent Wiginton Architects (972) 960-9970
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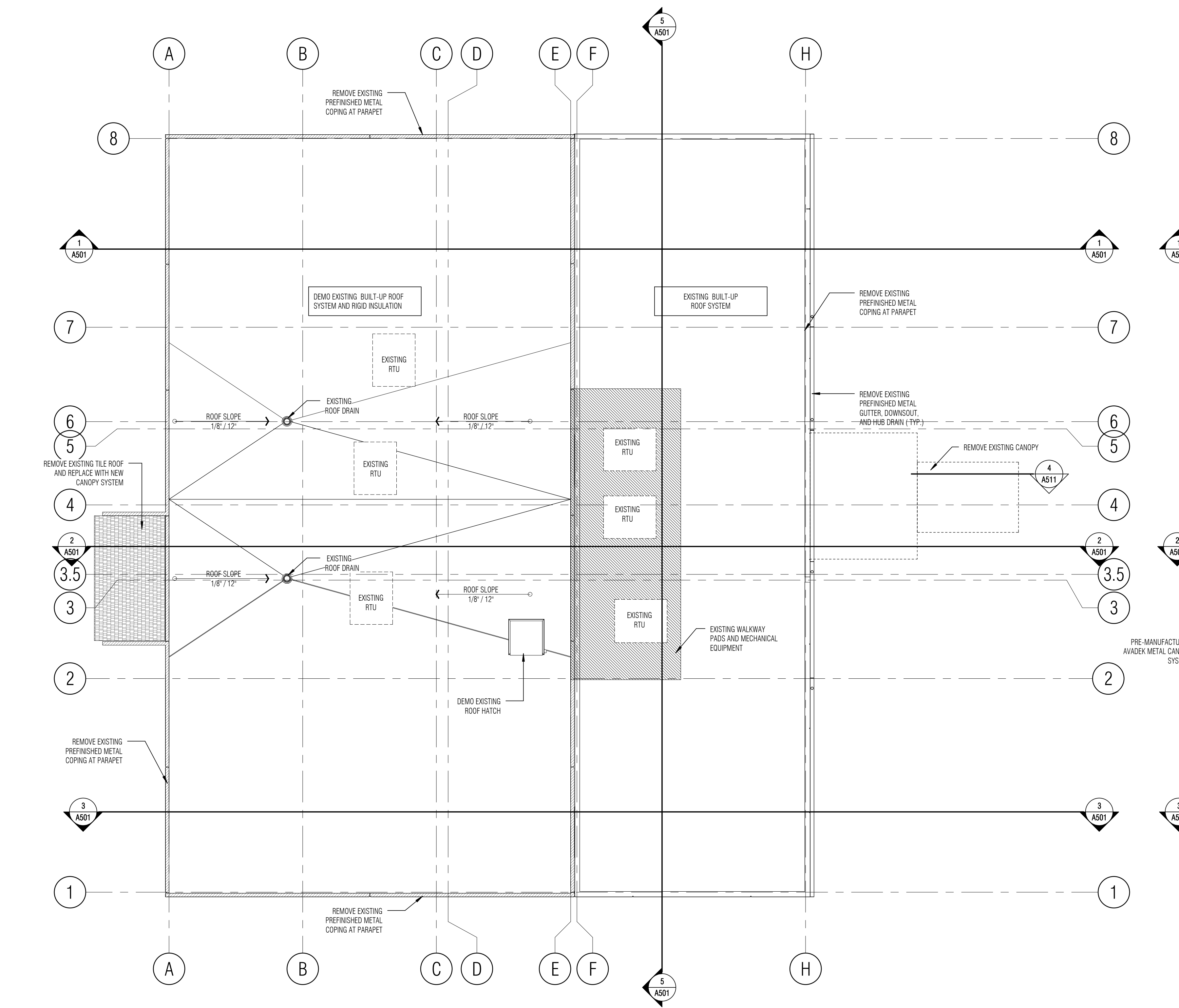
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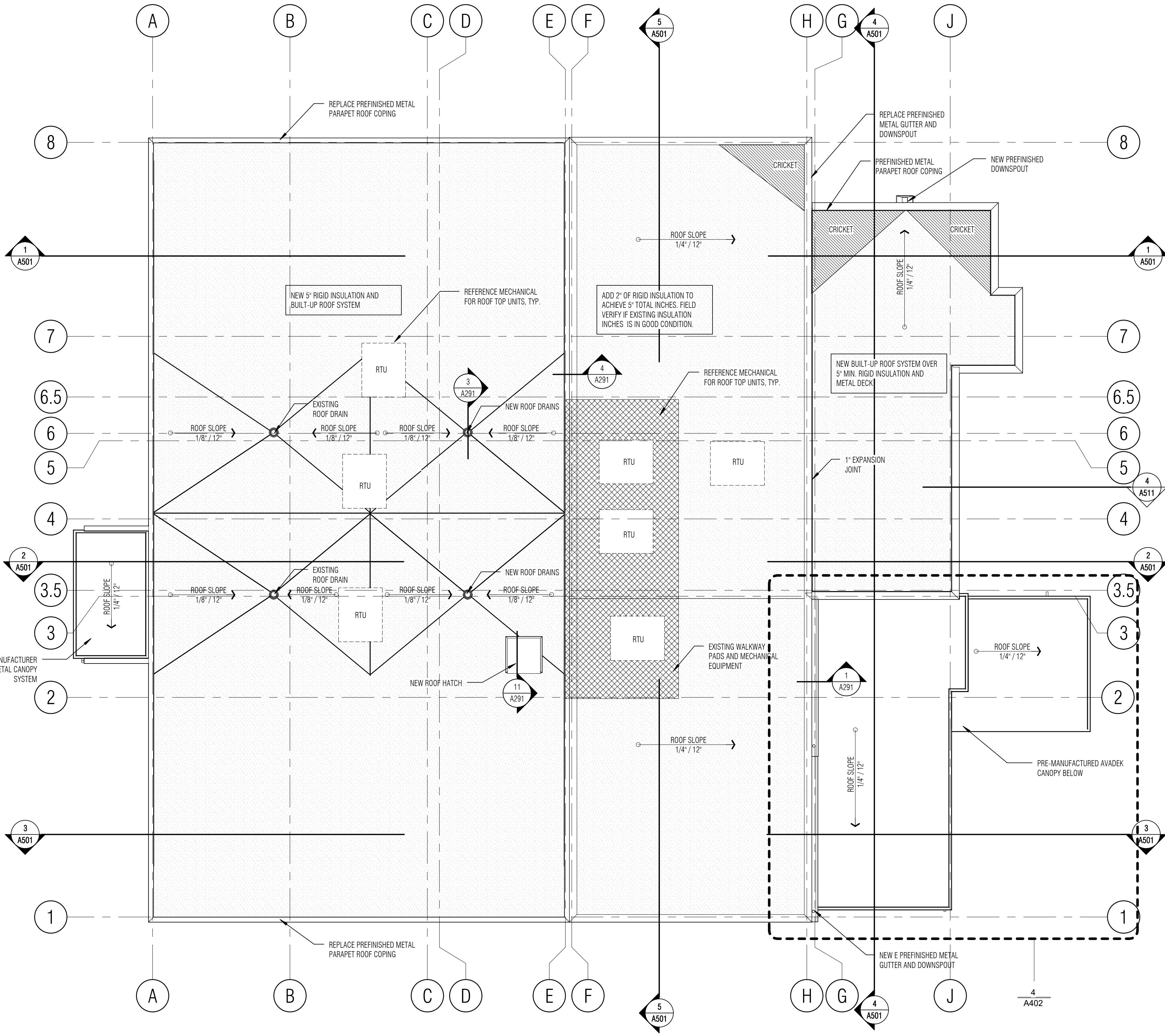
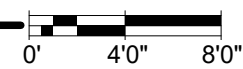
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TEXAS LIC. #17202
03/03/2017

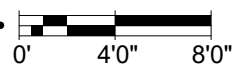
LEVEL 1 - DEMOLITION AND RENOVATION REFERENCE PLANS



1 DEMOLITION ROOF PLAN
SCALE: 1/8" = 1'-0"



2 RENOVATION ROOF PLAN
SCALE: 1/8" = 1'-0"



ROOF LEGEND

○ → ROOF SLOPE
■ CRICKET
■ ROOF PATHWAY

SHEET NOTES:
1. CRICKETS TO SLOPE TWO TIMES OR GREATER THAN ROOF, U.N.O.
2. REF. A291 FOR TYPICAL ROOF DETAILS

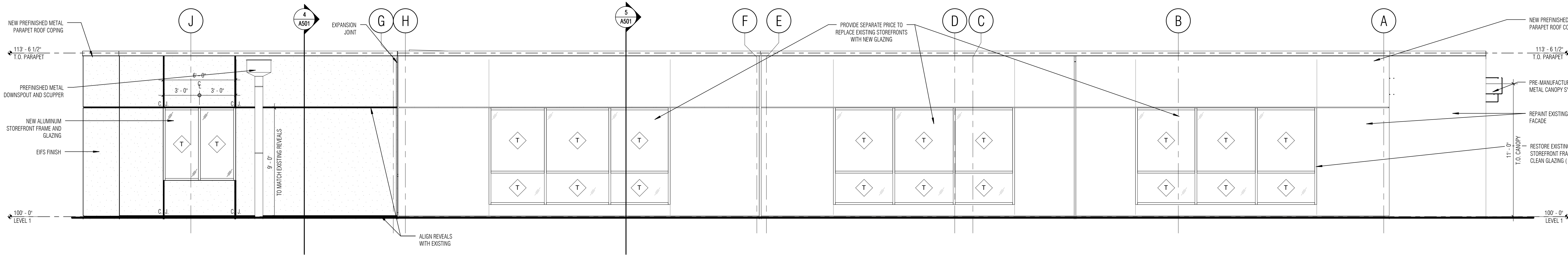
Maxwell Adult Center Addition

Architect: Brinkley Sargent Wiginton Architects (972) 950-9970
Landscape: Half Associates Inc. (512) 777-4600
Structural: Schmitz Partners Engineers (281) 627-3006
MEP: Stanton Engineering Group (713) 300-9292
Civil: Half Associates Inc. (713) 588-2450

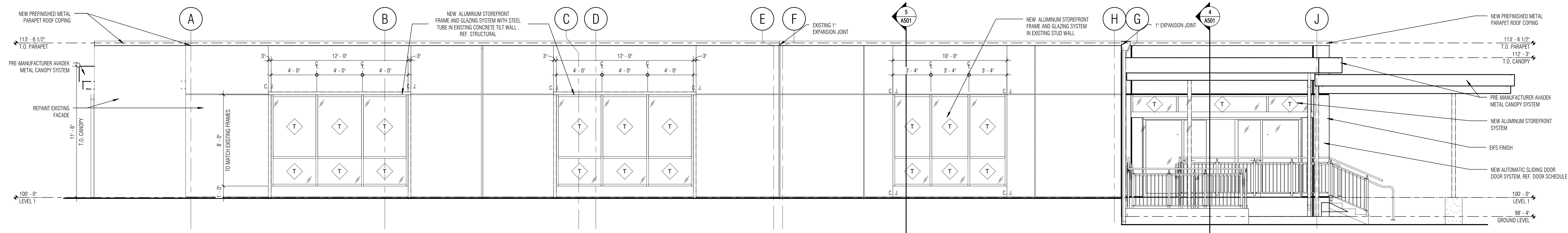
HISTORY		
#	DATE	DESCRIPTION

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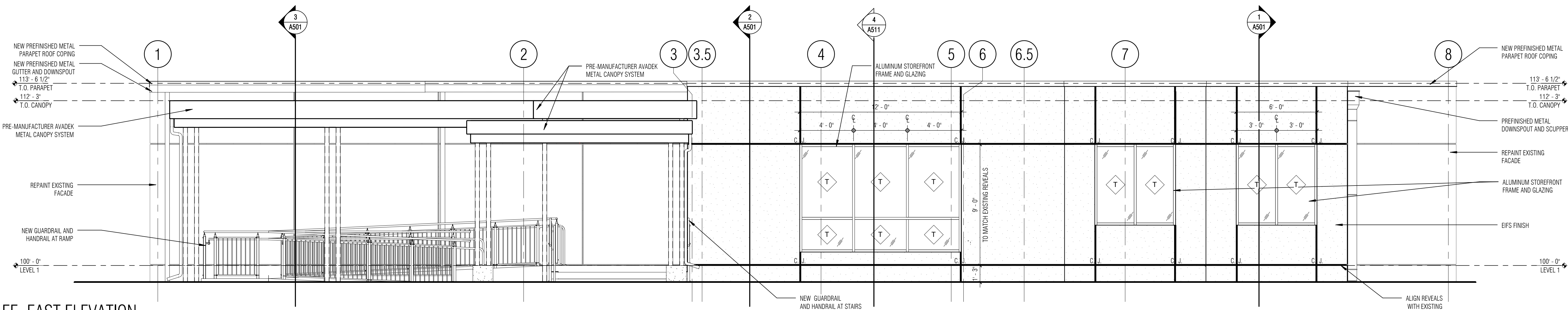
DEMOLITION AND RENOVATION ROOF PLANS



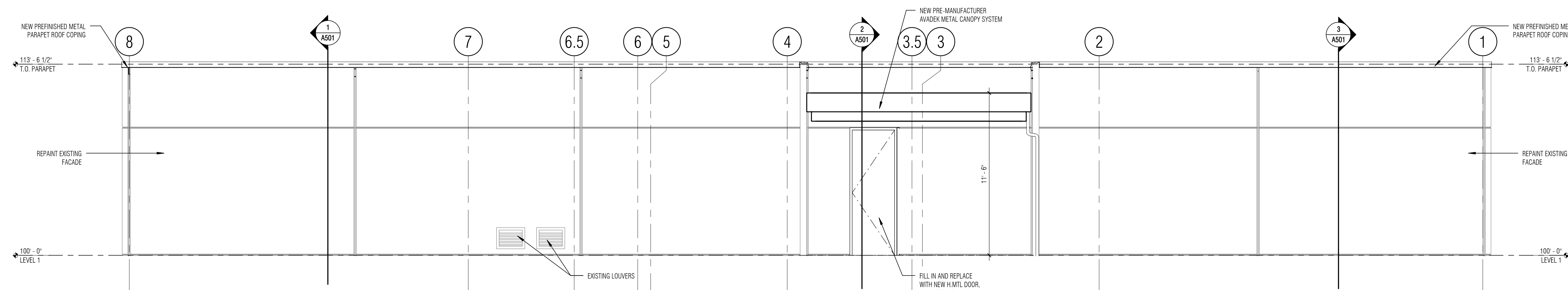
1 EE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 EE SOUTH ELEVATION
SCALE: 1/4" = 1'-0"



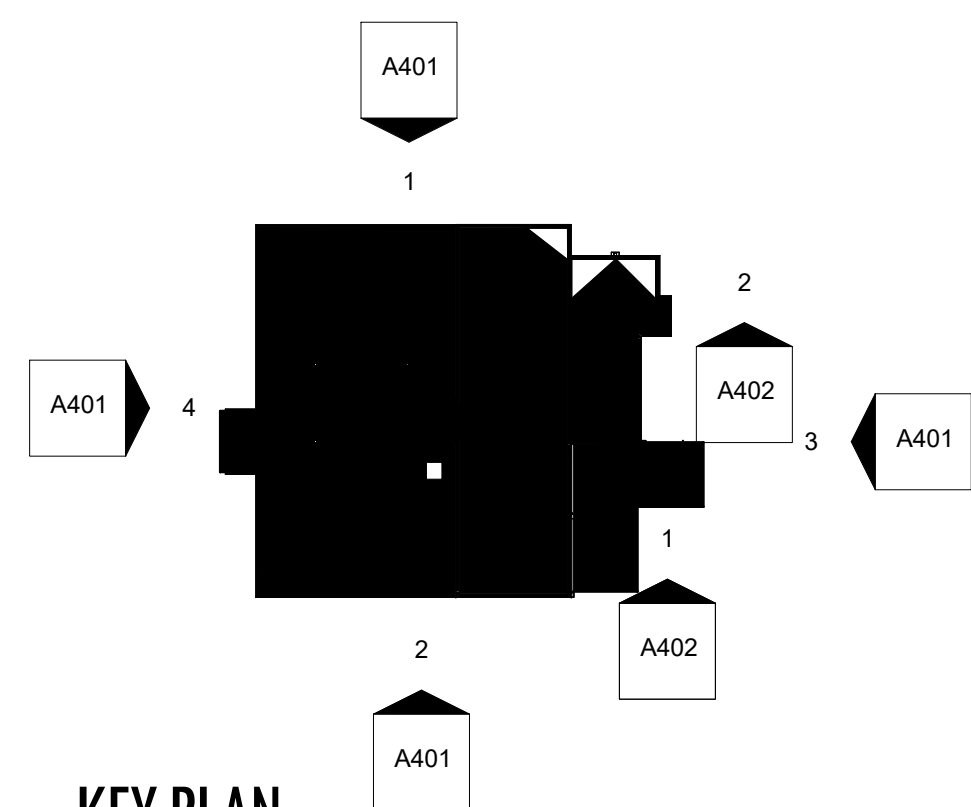
3 EE EAST ELEVATION
SCALE: 1/4" = 1'-0"



4 EE WEST ELEVATION
SCALE: 1/4" = 1'-0"

GLAZING SCHEDULE	
NO.	TYPE
A	1/4" CLEAR FLOAT GLAZING
AF	1/4" CLEAR FLOAT GLAZING PROTECTED
T	1" INSULATED GLAZING WITH LOW-E COATING IN THERMALLY-BROKEN FRAME

ALL EXT. GLAZING TYPE 'T' UNLESS NOTED OTHERWISE



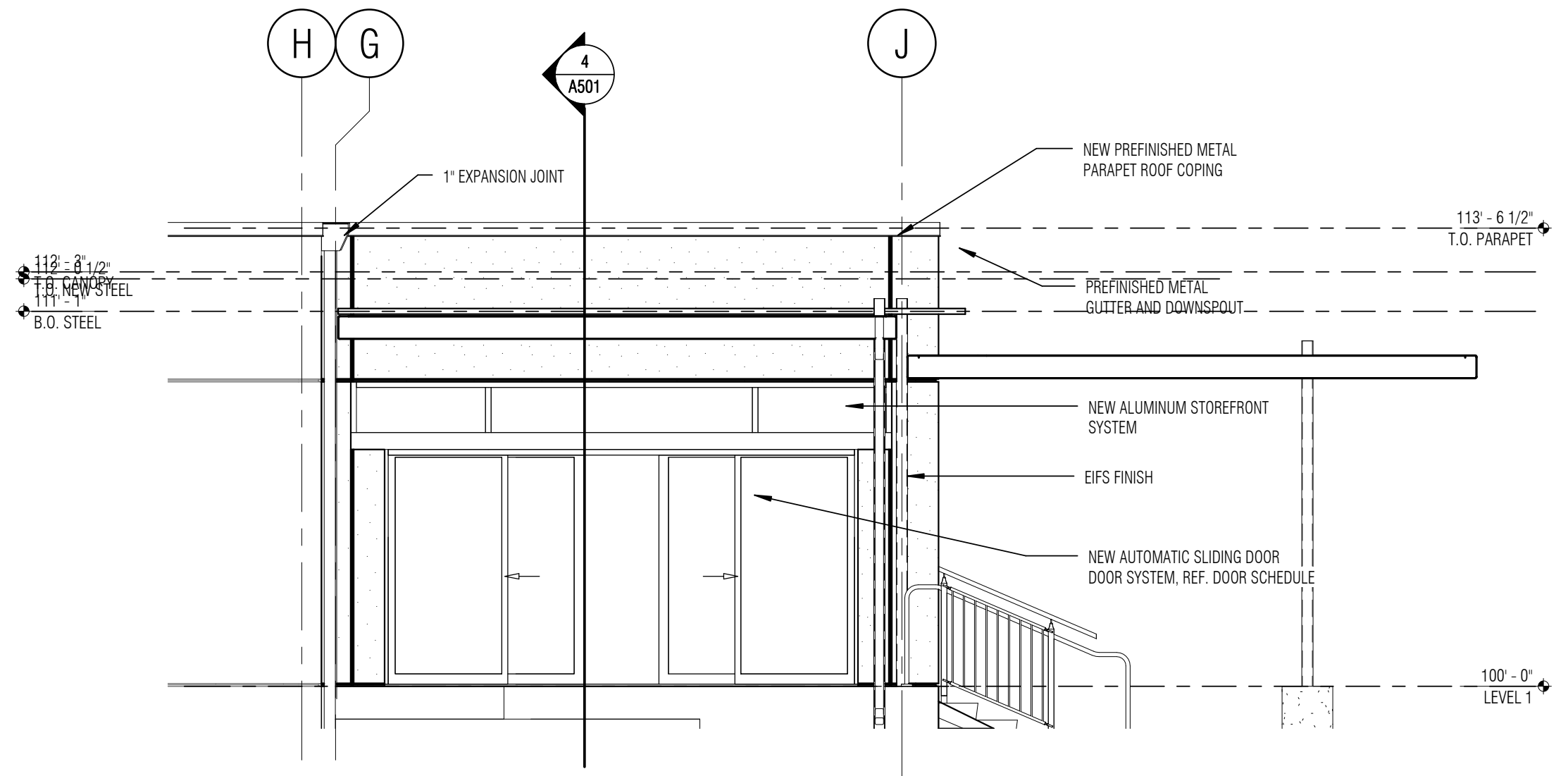
Maxwell Adult Center Addition

1201 CENTER ST., DEER PARK, TX 77536

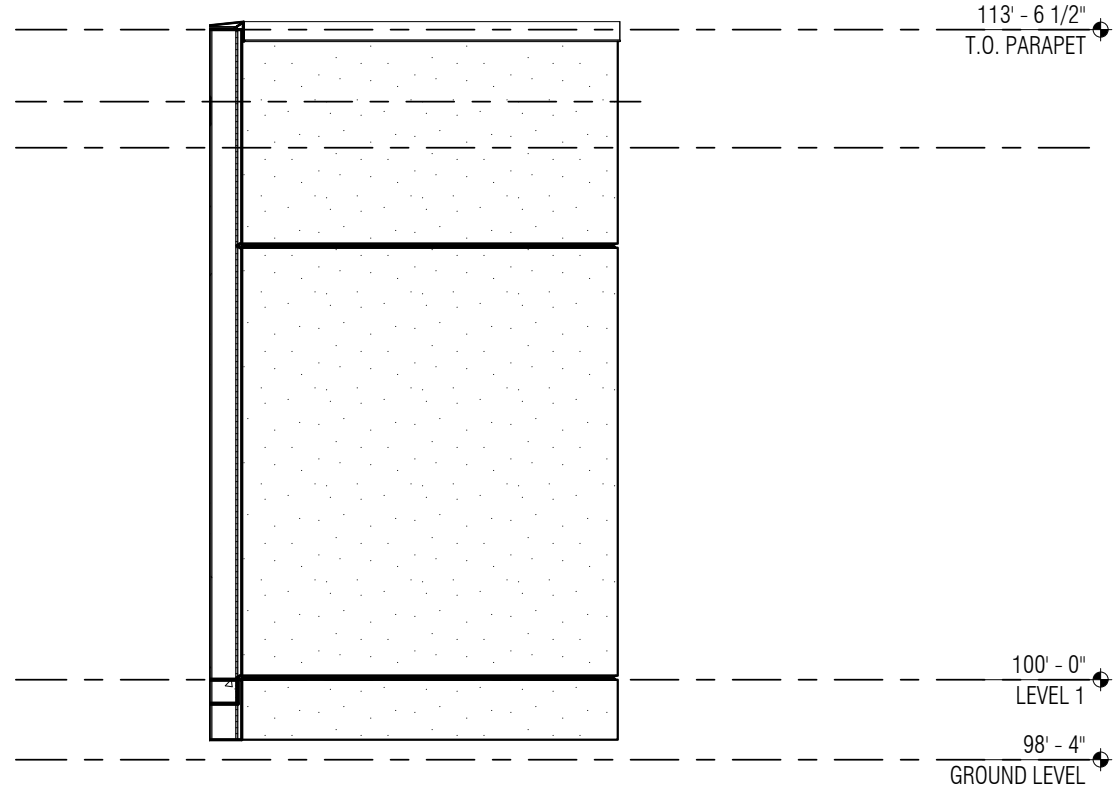
Architect: Brinkley Sargent Wiginton Architects 972 960-9970
Landscape: Half Associates Inc. (512) 777-4600
Structural: Schnitz Partners Engineers (281) 627-3006
MEP: Stanton Engineering Group (713) 300-9292
Civil: Half Associates Inc. (713) 588-2450

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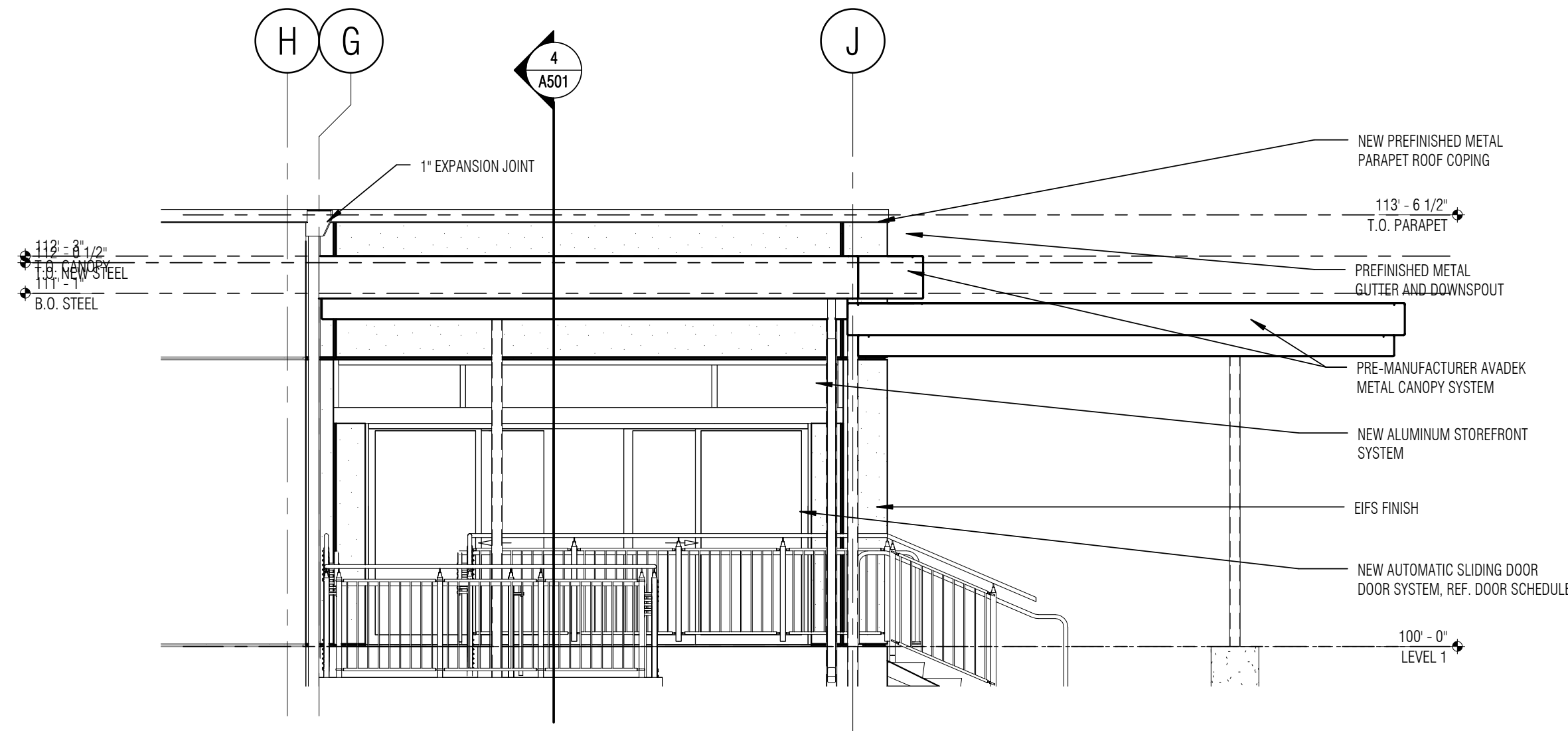
BUILDING ELEVATIONS



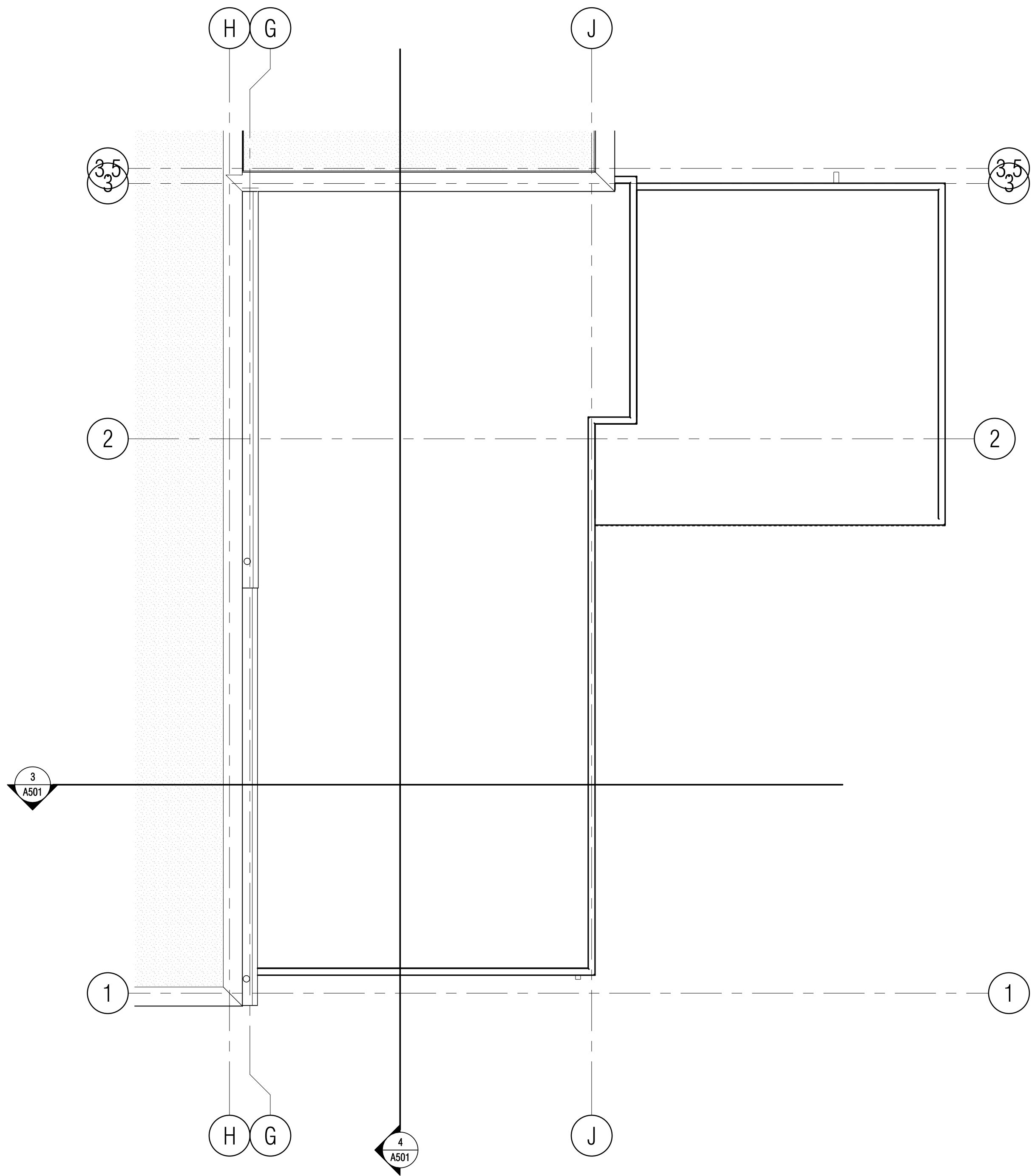
1 EE SOUTH ELEVATION ENTRANCE
SCALE: 1/4" = 1'-0"



2 EE SOUTH ELEVATION NEW OFFICE EXPANSION
SCALE: 1/4" = 1'-0"



3 EE SOUTH ELEVATION CANOPY
SCALE: 1/4" = 1'-0"



4 ENLARGED CANOPY PLAN
SCALE: 1/4" = 1'-0"

Maxwell Adult Center Addition

1201 CENTER ST, DEER PARK, TX 77536

Architect: Brinkley Sargent Wiginton Architects (972) 950-9970
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HISTORY		
#	DATE	DESCRIPTION

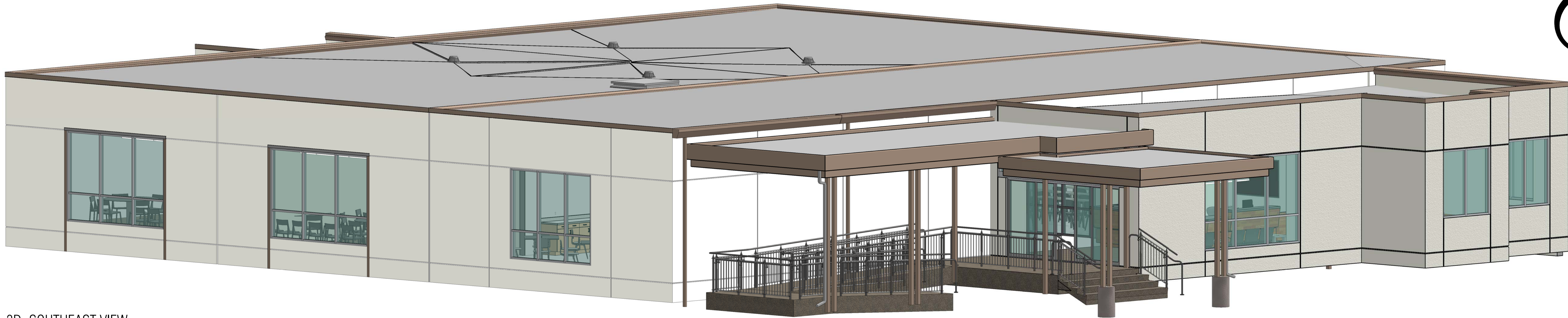
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03/03/2017

BUILDING
ELEVATIONS, CANOPY
PLAN AND DETAILS

21603.02
03/03/2017

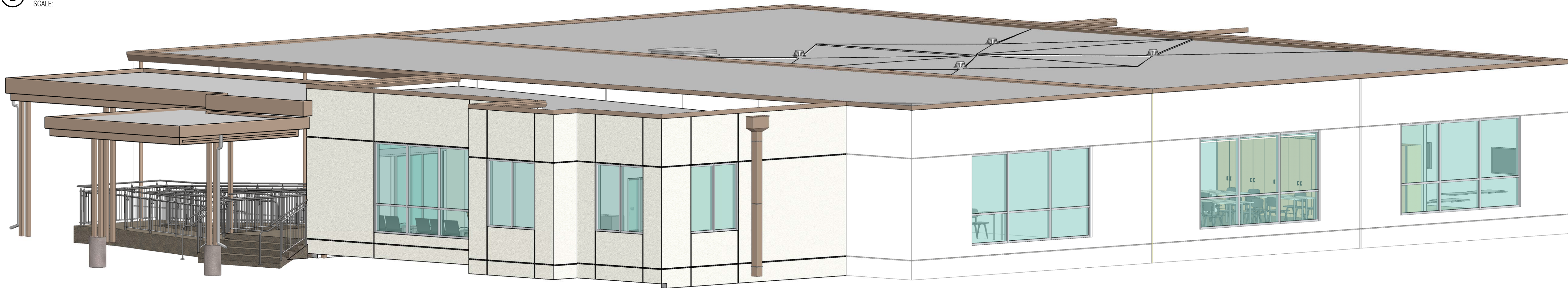
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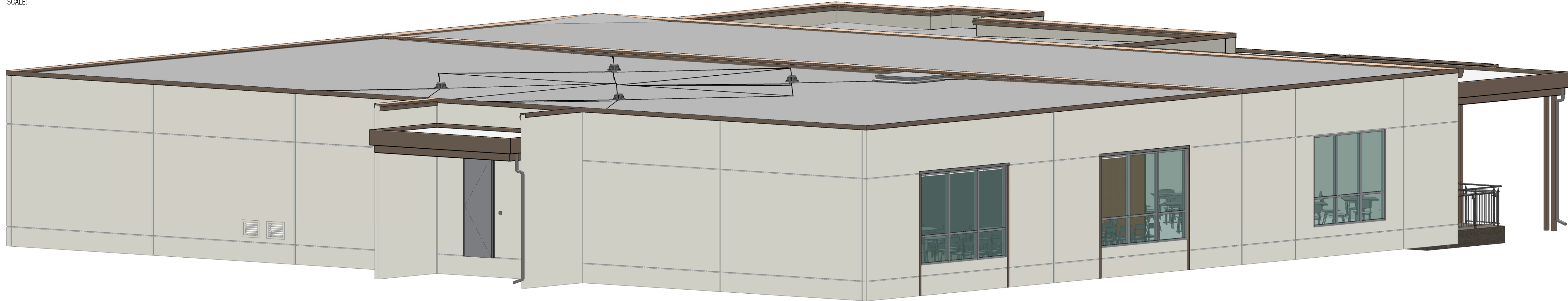
1 3D SOUTHEAST VIEW
SCALE:



2 3D ENLARGED SOUTHEAST ENTRANCE VIEW
SCALE:



3 3D NORTHEAST VIEW
SCALE:



4 3D SOUTHWEST VIEW
SCALE:

Architect: Brinkley Sargent Wiginton Architects (972) 950-9970
Landscape: Half Associates Inc. (512) 777-4600
Structural: Schlitz Partners Engineers (281) 627-3006
MEP: Stanton Engineering Group (713) 300-9292
Civil: Half Associates Inc. (713) 588-2450

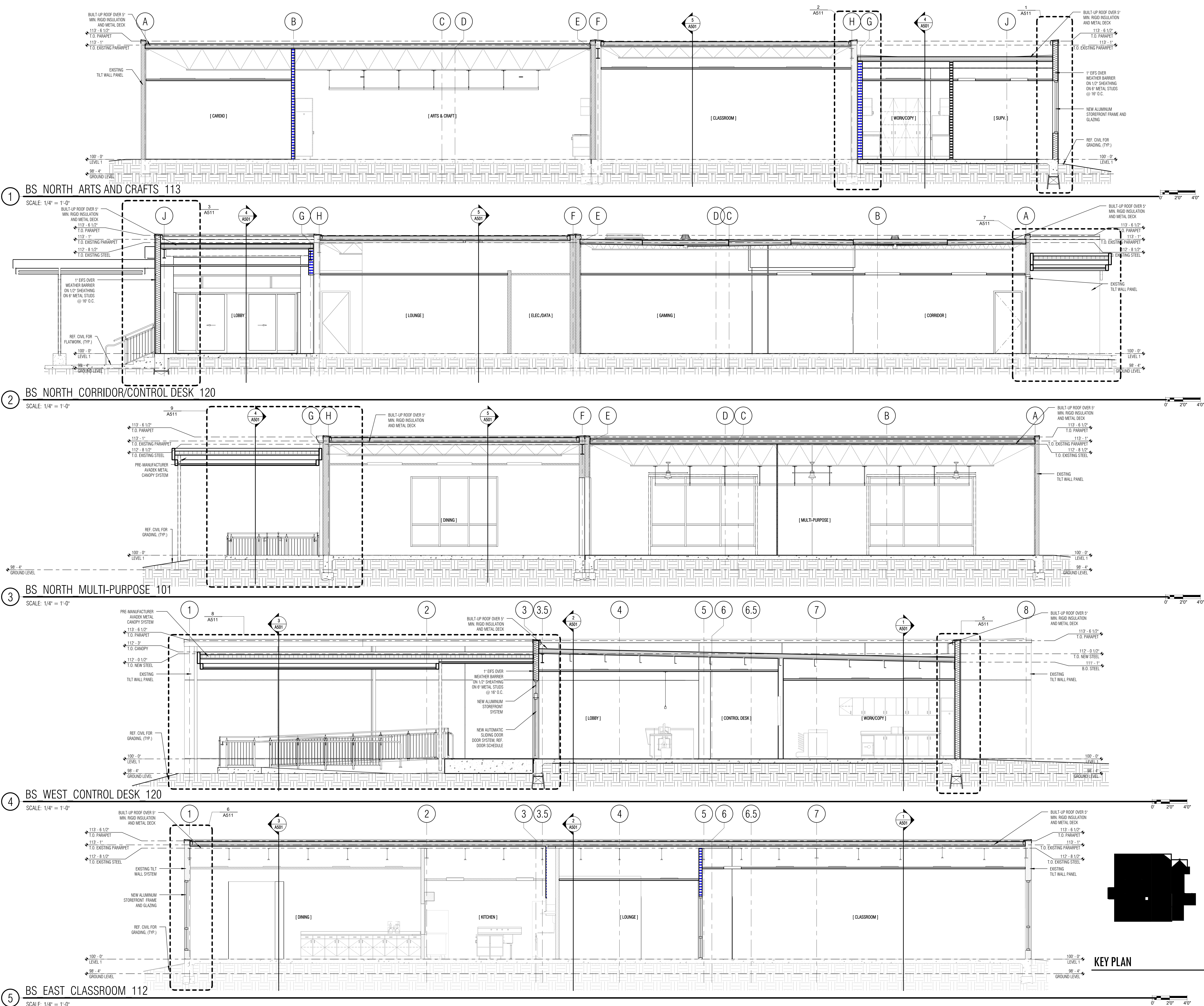
Maxwell Adult Center Addition

1201 CENTER ST, DEER PARK, TX 77536

HISTORY		
#	DATE	DESCRIPTION

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TEXAS L.C. #17902
03/03/2017

3D RENDERED VIEWS



Maxwell Adult Center Addition

Architect: Brinkley Sargent Wiginton Architects (972) 960-9970
Landscape: Half Associates Inc. (512) 777-4600
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MEP: Stanton Engineering Group (713) 300-9292
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HISTORY		
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TEXAS LIC. #17902
03/03/2017

BUILDING SECTIONS

ROOM SCHEDULE (RENOVATION)	
NUMBER	ROOM NAME
101	MULTI-PURPOSE
102	STORAGE
103	CENTRAL STORAGE
104	CORRIDOR
105	CORRIDOR
106	GAMING
107	MEN
108	WOMEN
109	STORAGE
111	CARDIO
112	CLASSROOM
113	ARTS & CRAFT
114	STORAGE
115	ELEC./DATA
116	KITCHEN
117	DINING
118	VESTIBULE
119	LOUNGE
121	LOBBY
122	CONTROL DESK
123	CORR.
124	OFFICE
125	SUPV.
126	WORK/COPY

FINISH PLAN LEGEND		
SHEET NOTES	WALL FINISHES *ALL WALLS ARE PAINTED 'P1' UNLESS NOTED OTHERWISE. — ACCUSTICAL WALL TREATMENT- \$35.00/ SQ YD — EPOXY — EPOXY(4'-0")/PAINT — TILE (PORCELAIN)-\$6.00/ SQ FT — TILE -(4'-0" FROM CORNERS) — RUBBER TO CRASH RAIL (LOW) — RUBBER TO CRASH RAIL (DOUBLE)	FLOOR TRANSITION MILLWORK TAG TRANSACTION — PL-1 COUNTERTOP — PL-2 UPPERS/LOWERS — PL-3 ***** MOTORIZED SHADE ***** MANUAL SHADE- BLINDS ***** MOTORIZED SHADE/BLACKOUT ● ACROBYN CORNER GUARD (8'-0") ↓ LINEAR PATTERN DIRECTION
FLOOR FINISHES		
■ CARPET TILE-\$28.00/SQ YD		
■ PORCELAIN TILE-\$6.00/ SQ FT		
■ VINYL COMPOSITION TILE-\$3.00/ SQ FT		
■ LUXURY VINYL TILE-\$4.00/SQ FT		
■ ATHLETIC RUBBER FLOORING-\$6.00/SQ FT		

GENERAL NOTES

- REF. REFLECTED CEILING PLANS FOR EXTENT / LAYOUT OF FINISHES.
- PREPARE ALL EXPOSED STEEL TO SMOOTH FINISH PRIOR TO PAINTING.
- CONTRACTOR TO PROVIDE TRANSITION STRIPS AT ALL FLOORING MATERIAL CHANGES AS NEEDED.
- PAINT OUT ALL EXPOSED CEILING(S) WHITE).
- DEMOL ALL EXISTING FINISHES AND PREPARE SURFACES FOR NEW.

FINISH NOTES

- REF. FINISH PLANS FOR EXTENT / LAYOUT OF FINISHES.
- REF. BUILDING SECTIONS / INTERIOR ELEVATIONS FOR FURTHER INFORMATION.
- REF. REFLECTED CEILING PLANS FOR EXTENT/LAYOUT OF FINISHES.



LEVEL 1 - DD FINISH PLAN

SCALE: 1/8" = 1'-0"

0' 4' 8'

Maxwell Adult Center Addition

1201 CENTER ST, DEER PARK, TX 77536

HISTORY

#	DATE	DESCRIPTION
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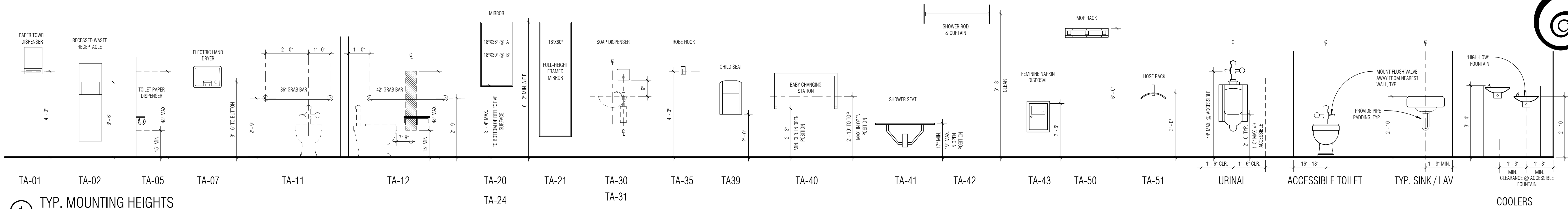
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TEXAS LIC. #17360
03/03/2017

DD FLOOR FINISH PLAN

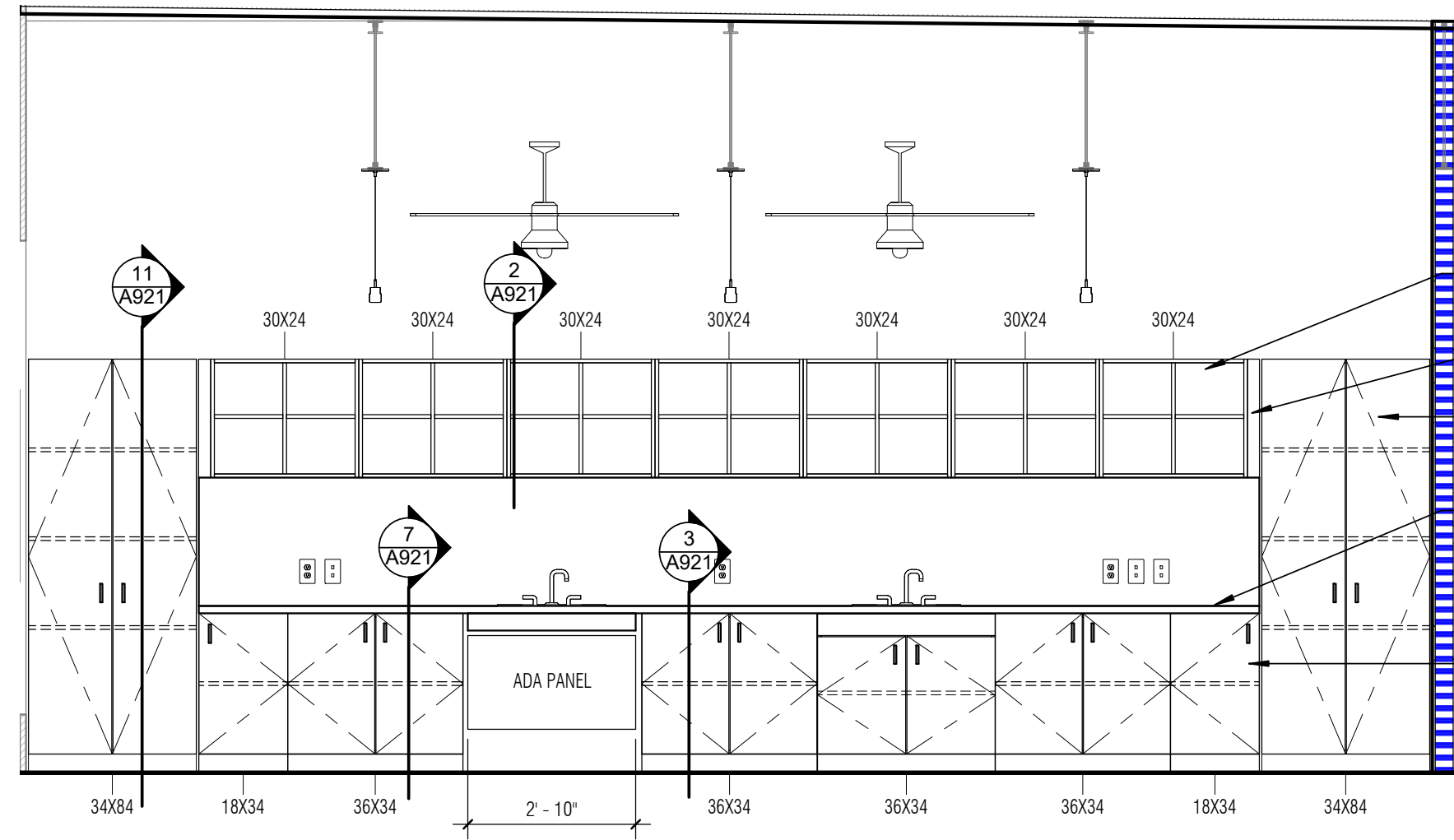
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03/03/2017

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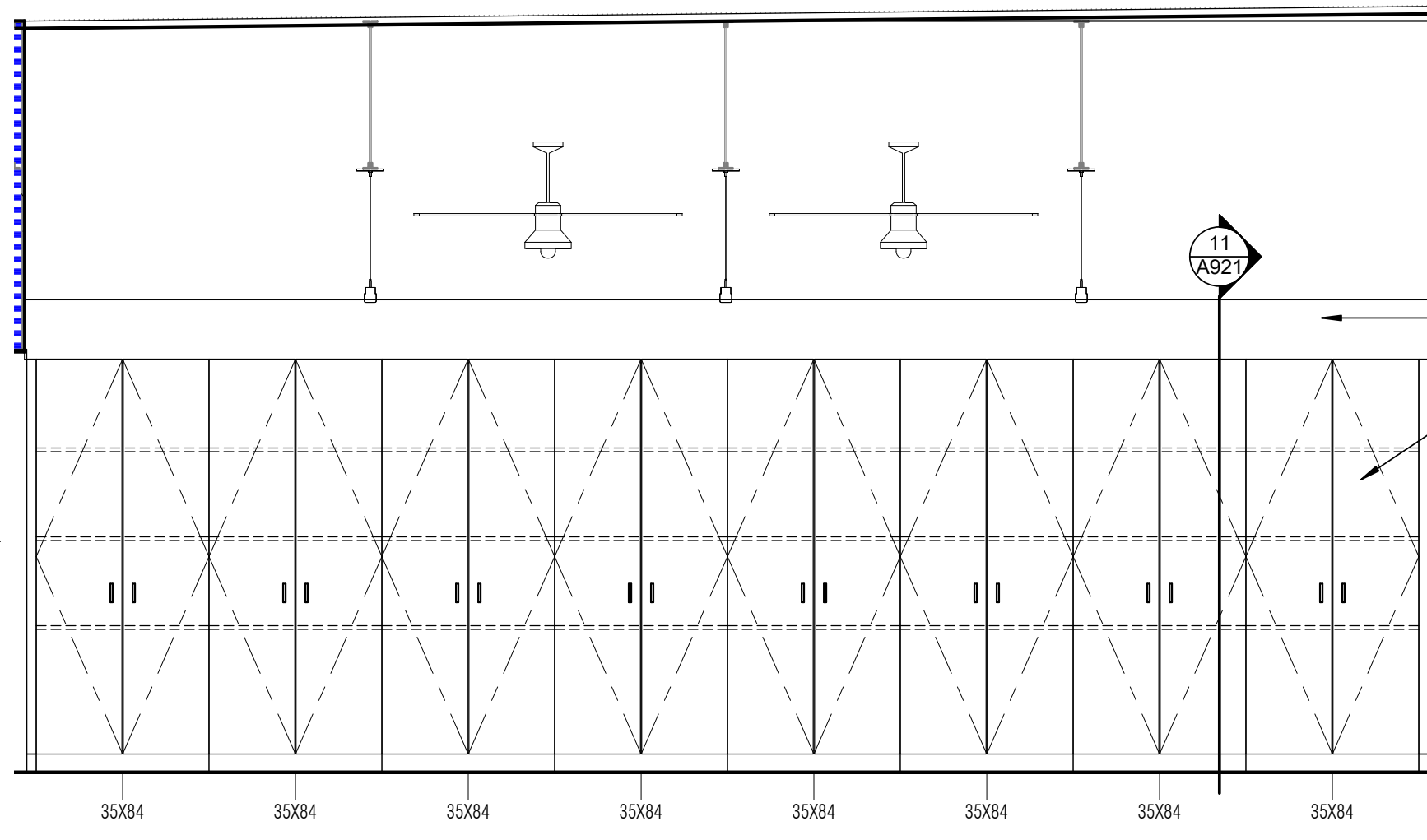
Architect: Brinkley Sargent Wiginton Architects (972) 960-9970
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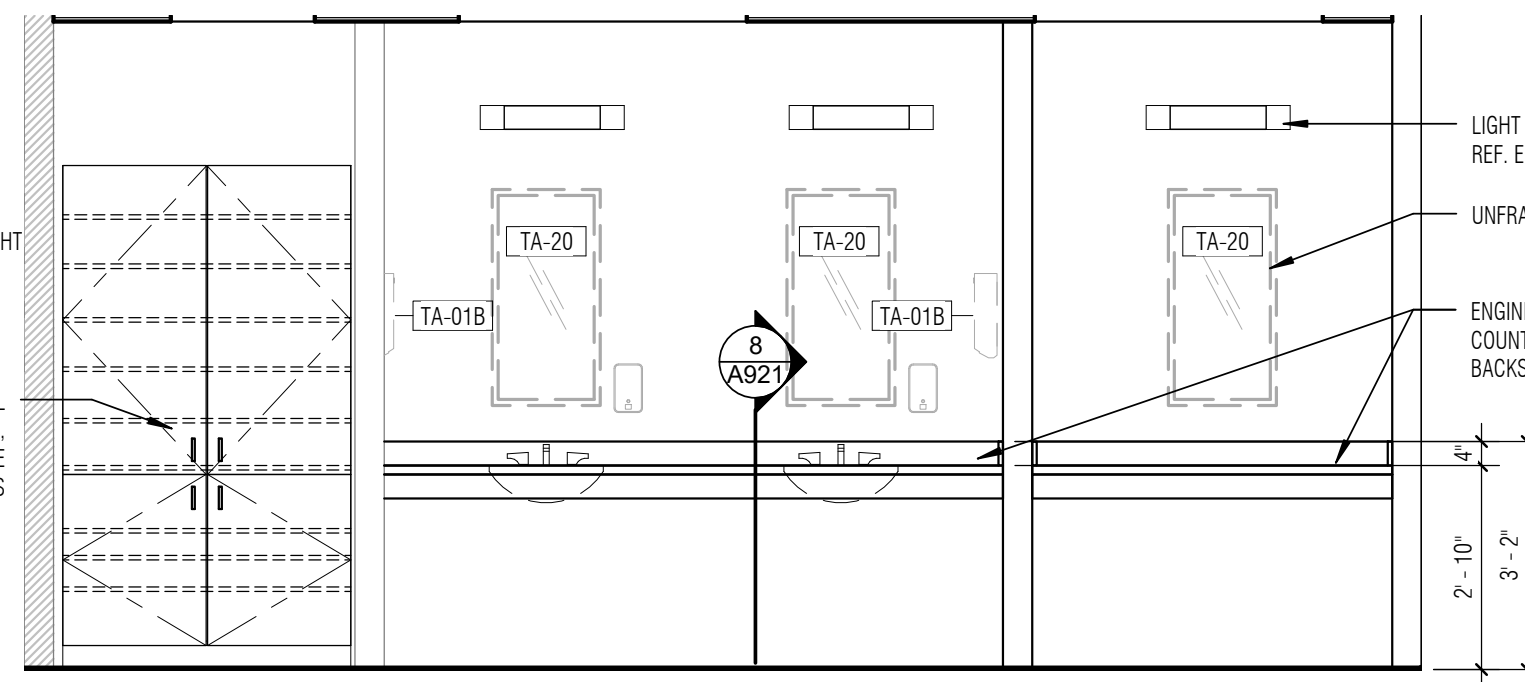
1 TYP. MOUNTING HEIGHTS
SCALE: NTS



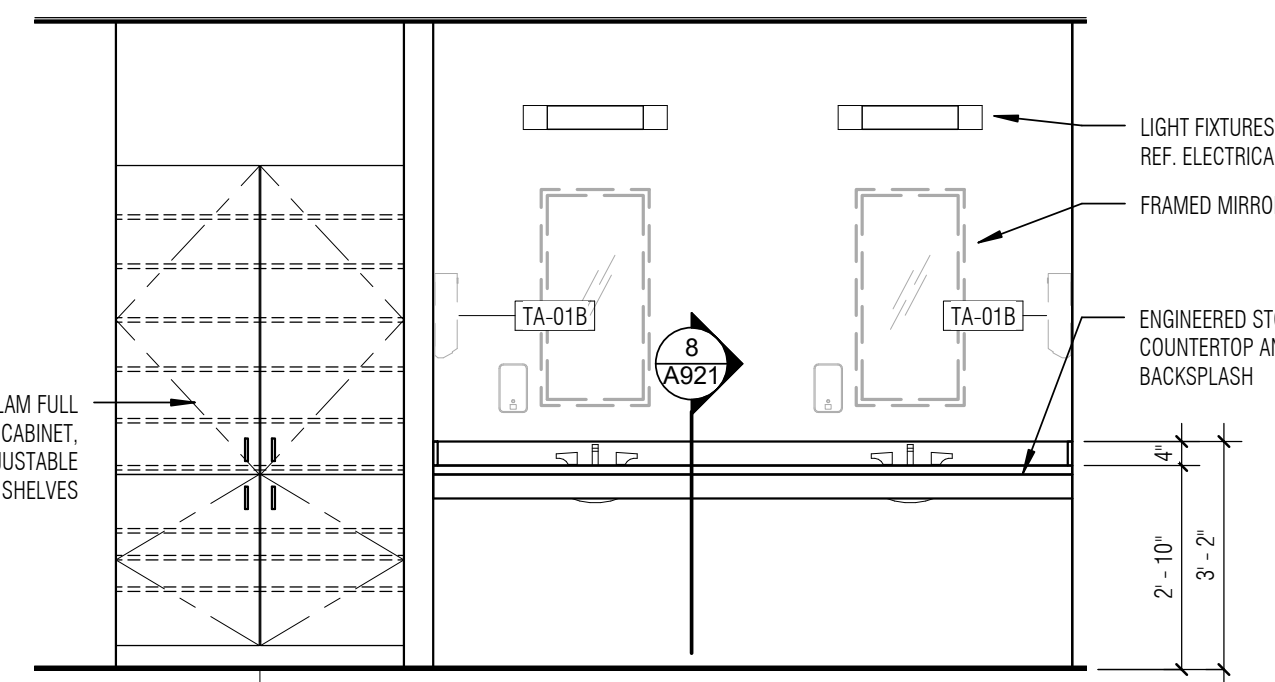
2 INTERIOR ELEVATION
SCALE: 3/8" = 1'-0"



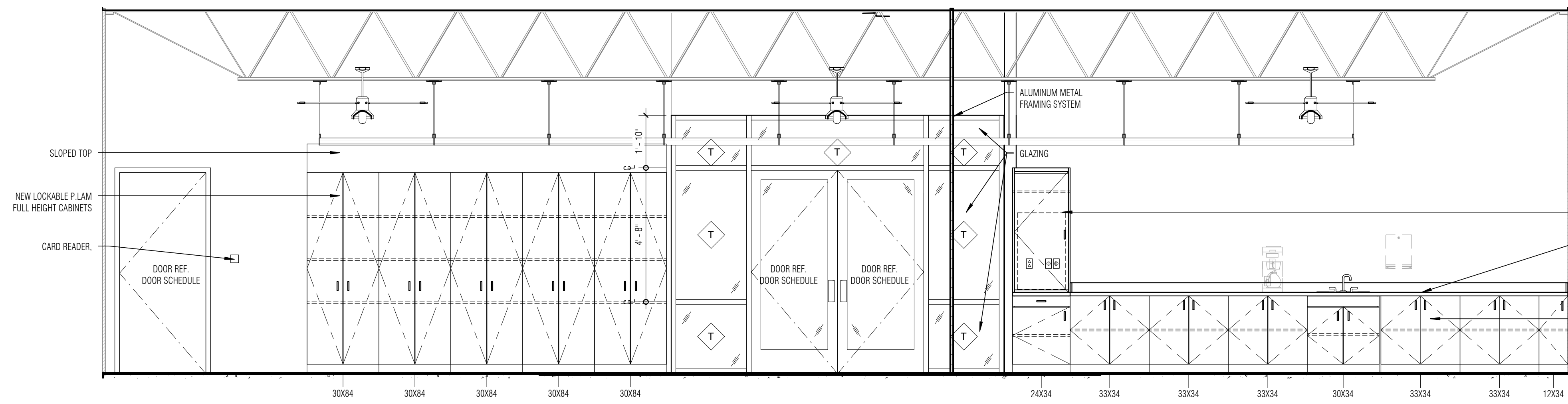
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SCALE: 3/8" = 1'-0"



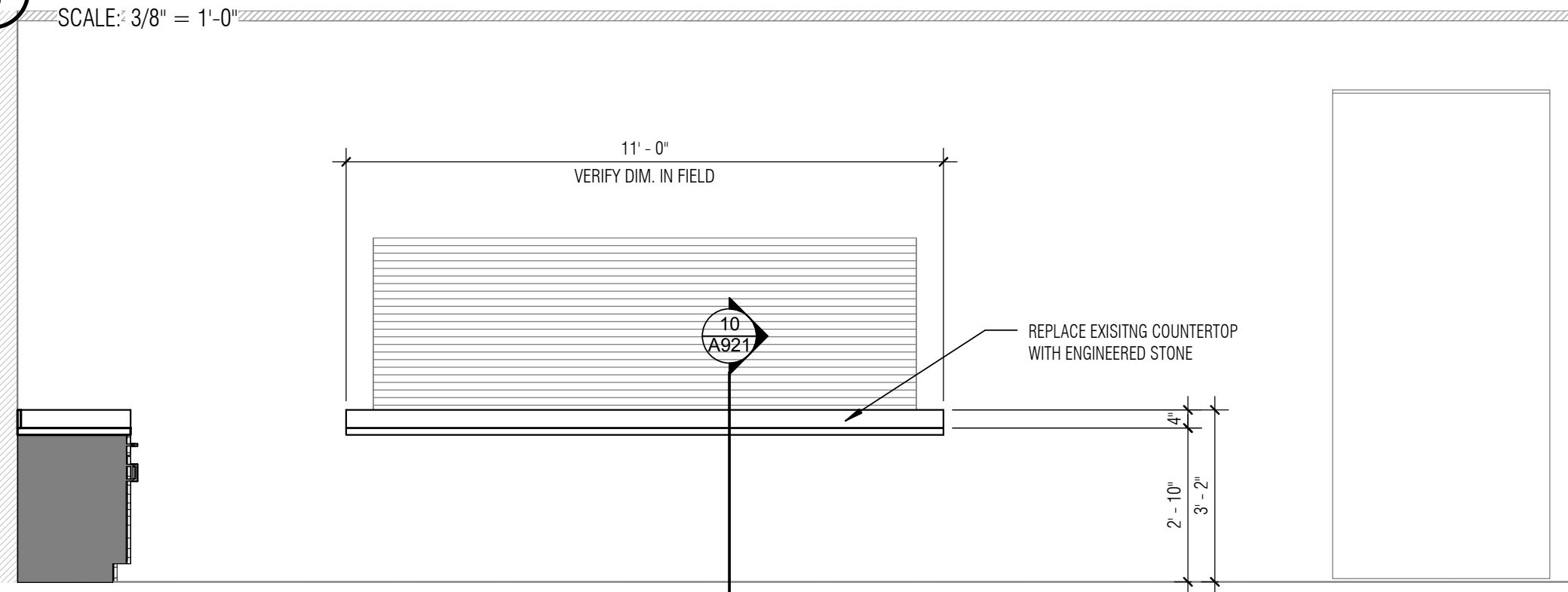
4 IE 107 WOMENS RESTROOM D
SCALE: 3/8" = 1'-0"



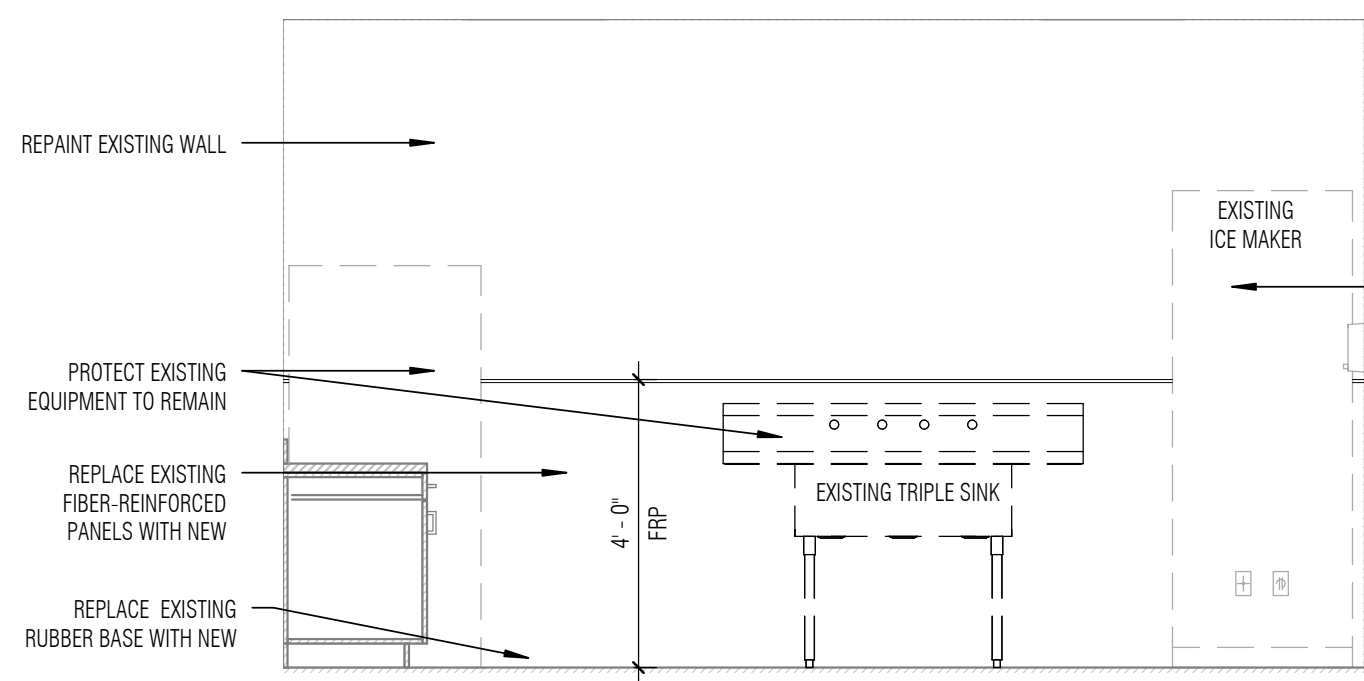
5 IE 108 MENS RESTROOM B
SCALE: 3/8" = 1'-0"



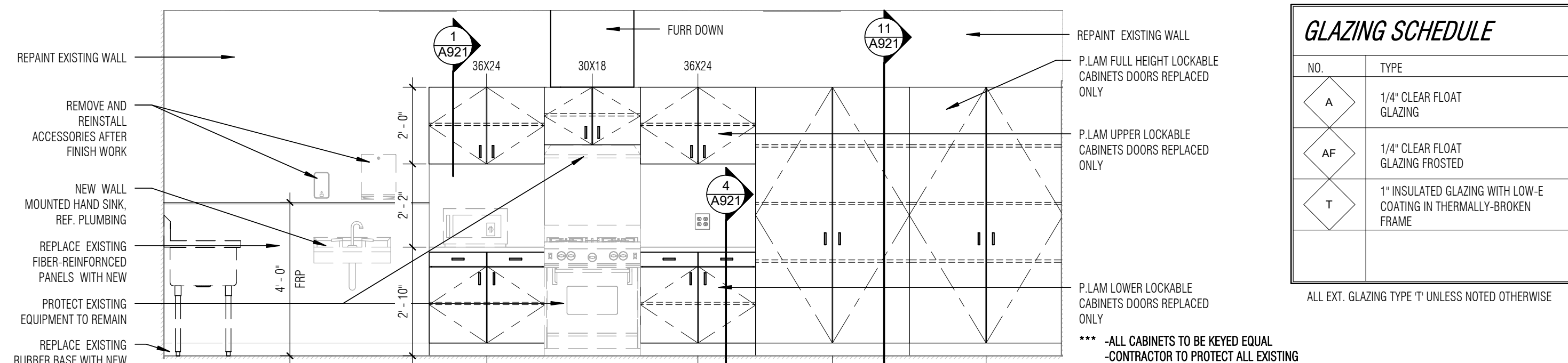
6 INTERIOR ELEVATION
SCALE: 3/8" = 1'-0"



8 IE 119 DINING A
SCALE: 3/8" = 1'-0"



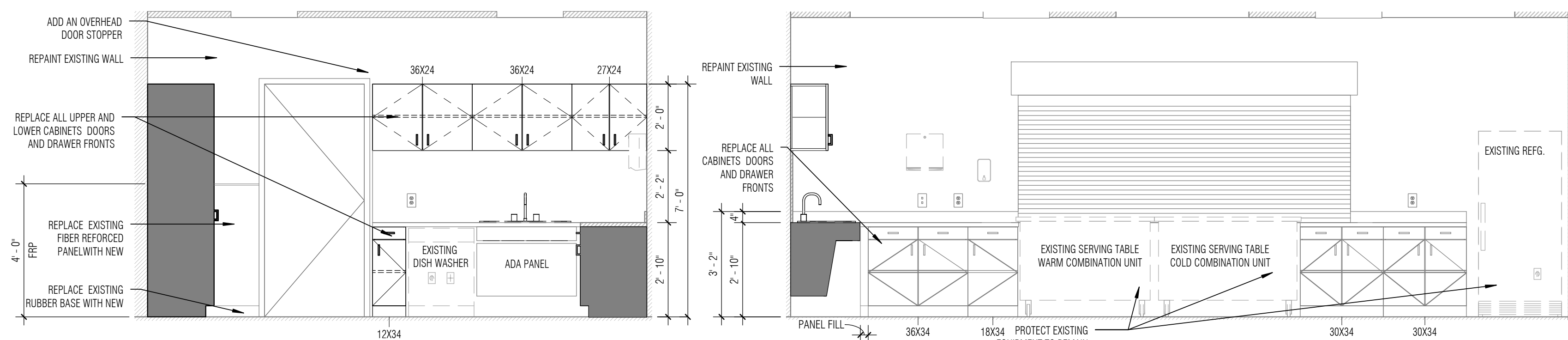
9 IE 118 KITCHEN D
SCALE: 3/8" = 1'-0"



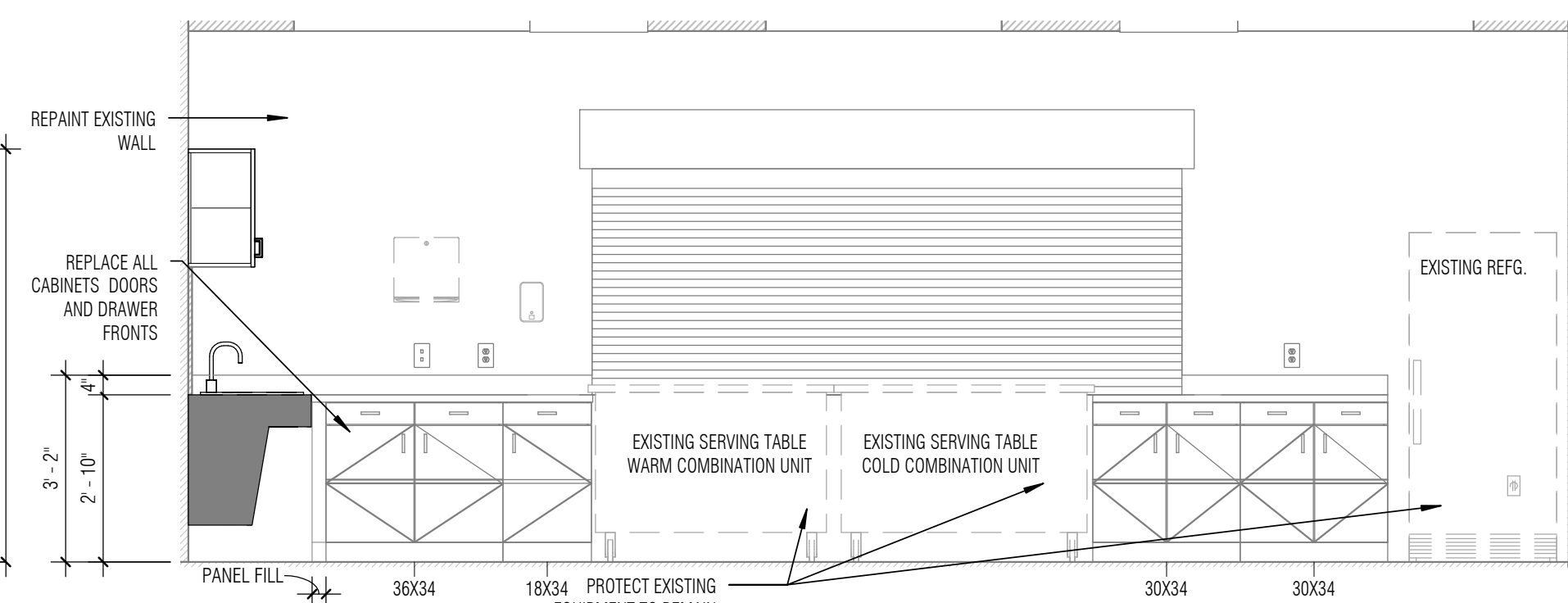
10 IE 118 KITCHEN A
SCALE: 3/8" = 1'-0"

GLAZING SCHEDULE	
NO.	TYPE
A	1/4" CLEAR FLOAT GLAZING
AF	1/4" CLEAR FLOAT GLAZING FROSTED
T	1" INSULATED GLAZING WITH LOW-E COATING IN THERMALLY-BROKEN FRAME

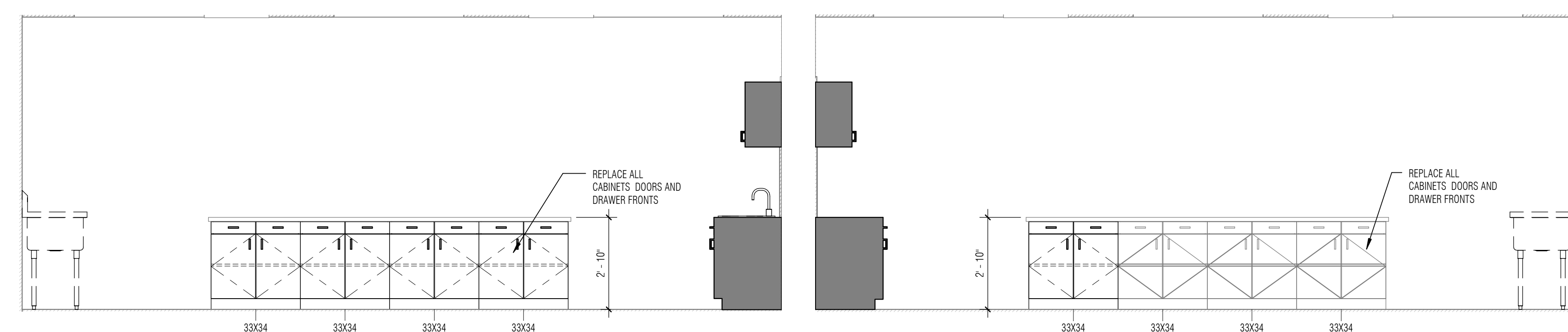
ALL EXT. GLAZING TYPE 'T' UNLESS NOTED OTHERWISE



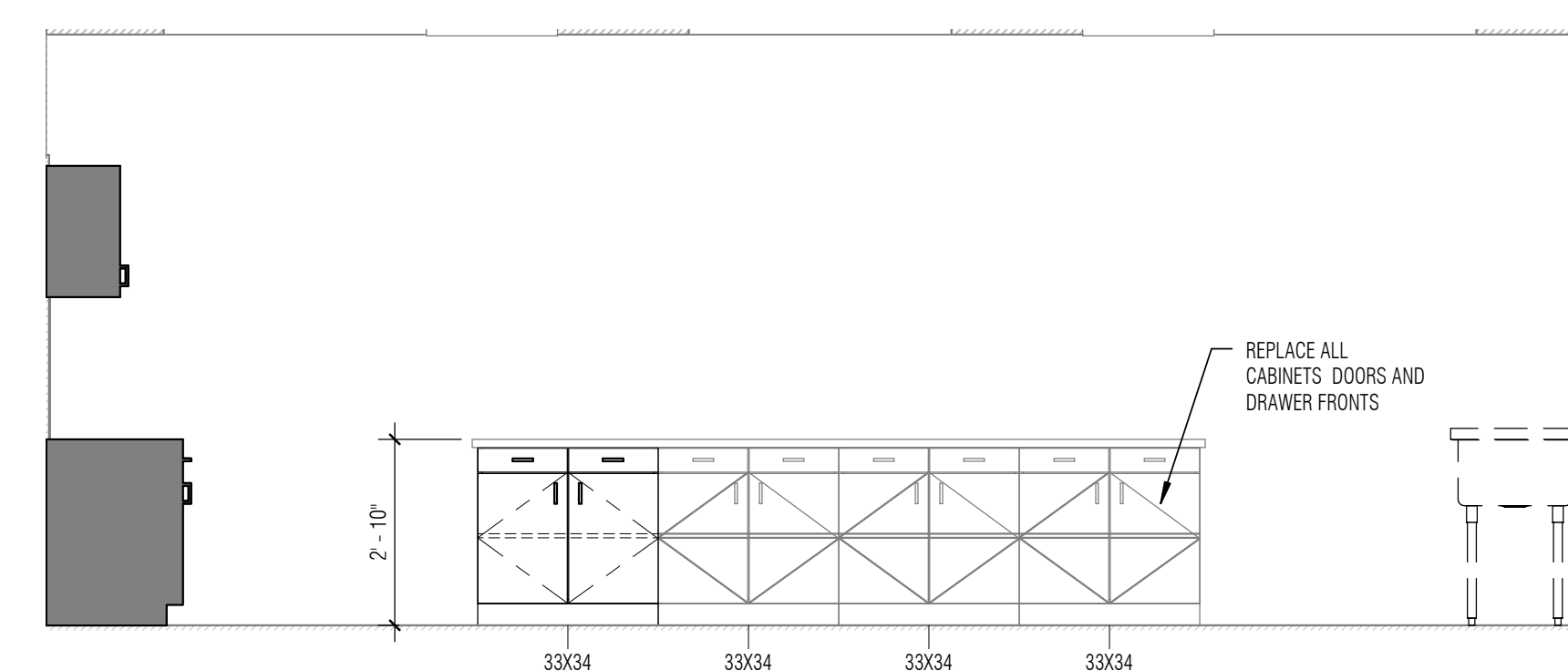
11 IE 118 KITCHEN B
SCALE: 3/8" = 1'-0"



12 IE 118 KITCHEN C
SCALE: 3/8" = 1'-0"



13 IE 118 KITCHEN ISLAND A
SCALE: 3/8" = 1'-0"



14 IE 118 KITCHEN ISLAND C
SCALE: 3/8" = 1'-0"

Maxwell Adult Center Addition

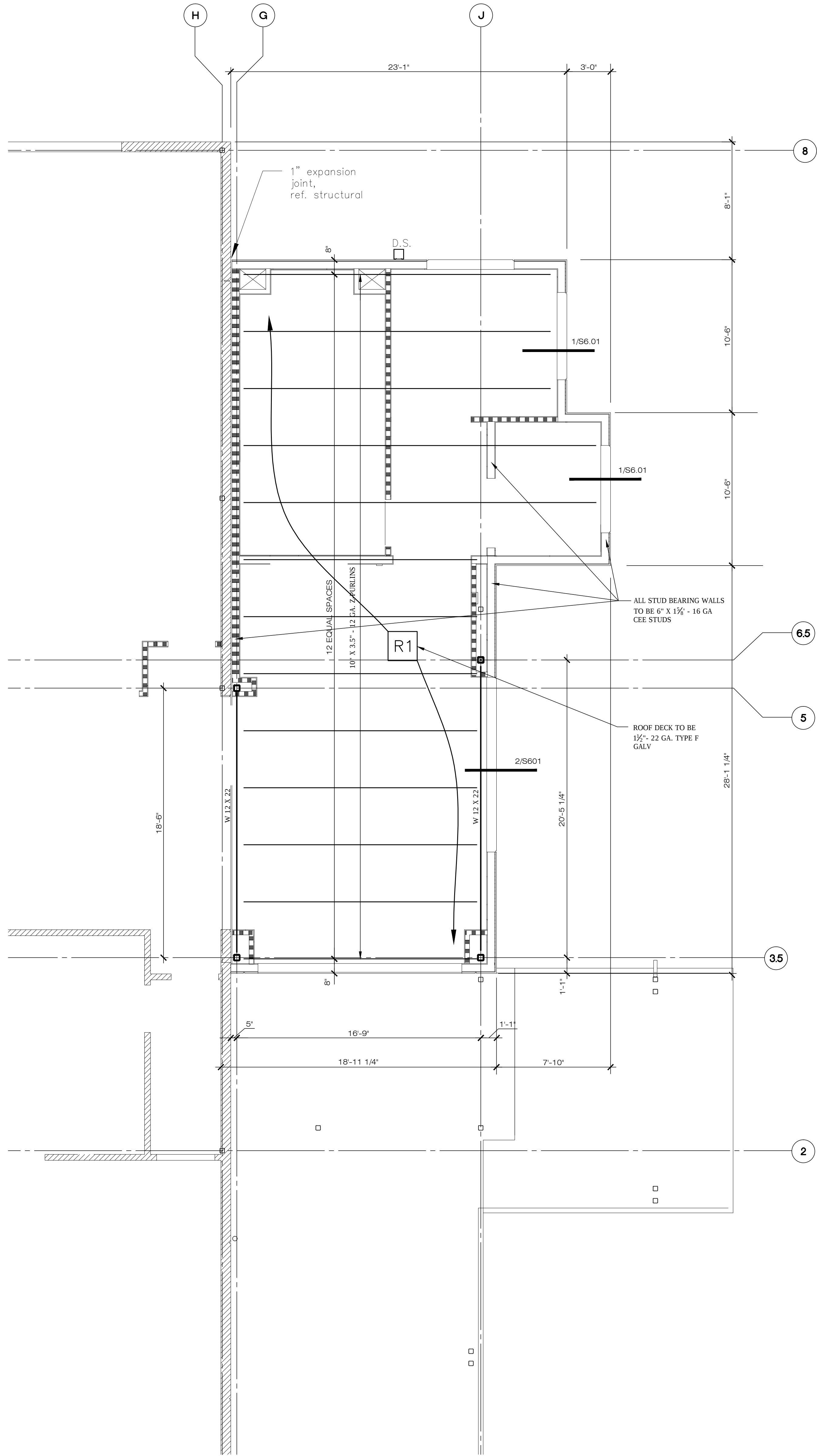
Architect: Brinkley Sargent Wiginton Architects 972-950-9970
Landscape: Half Associates Inc. (512) 777-4600
Structural: Schnitz Partners Engineers (281) 627-3006
MEP: Stanton Engineering Group (713) 300-9292
Civil: Half Associates Inc. (713) 588-2450

1201 CENTER ST, DEER PARK, TX 77536

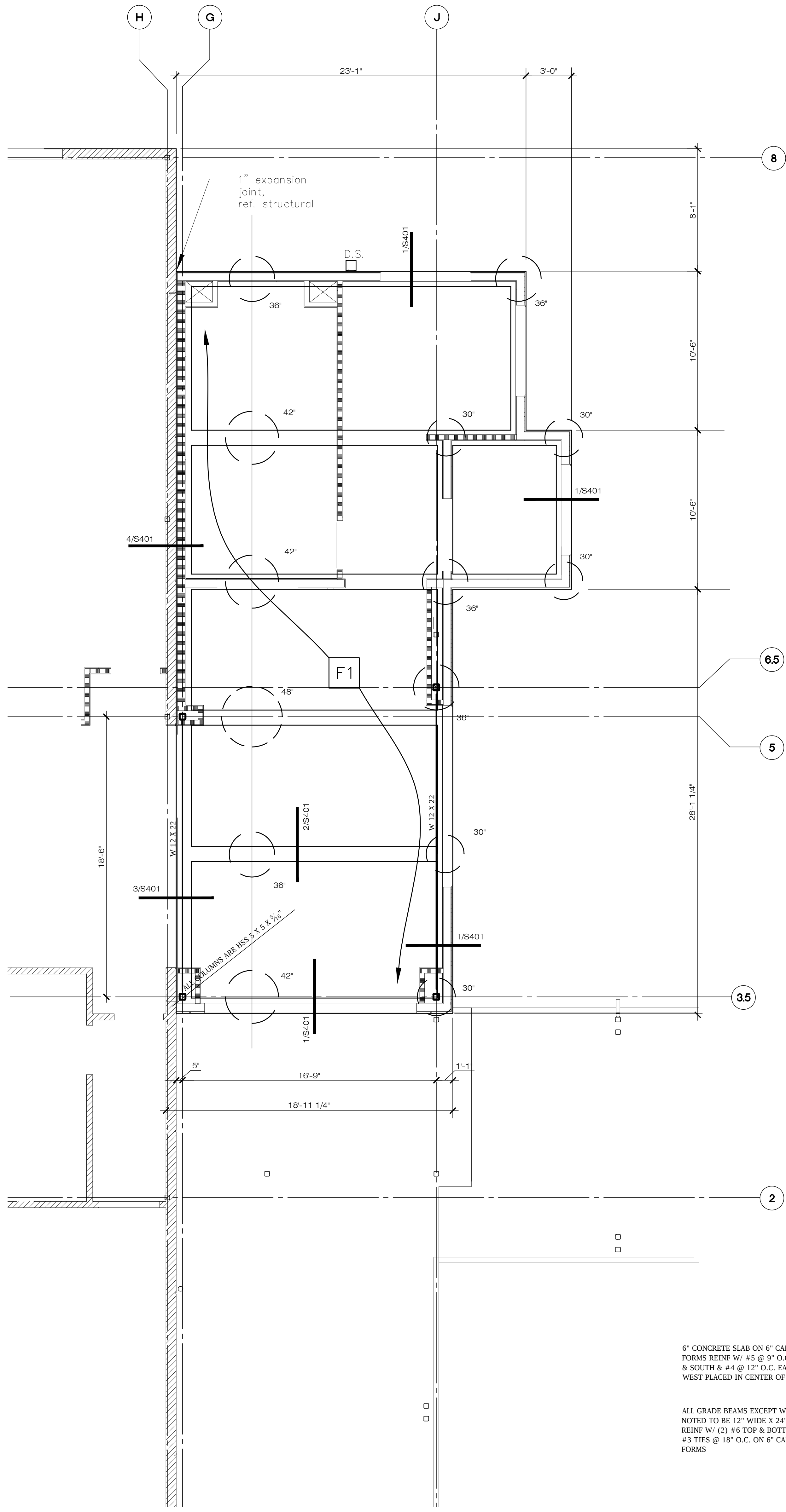
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#	DATE DESCRIPTION

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03/03/2017

INTERIOR
ELEVATIONS



ROOF PLAN
SCALE: 1/4" = 1'0"



FOUNDATION PLAN
SCALE: 1/4" = 1'0"



ISSUED FOR
50% REVIEW ONLY
JOHN M. SCHMITZ
P.E. 32940

FOUNDATION AND
ROOF FRAMING
PLANS

21603.02
03/03/2017

S101

Maxwell Adult Center Addition

Architect: Brinkley Sargent Wington Architects (972) 960-9970
Civil/Landscape: Hall Associates (512) 777-4600
Structural: Schmitz Partners Engineers PLLC (713) 772-5542
MEP: XXX XXX-XXXX

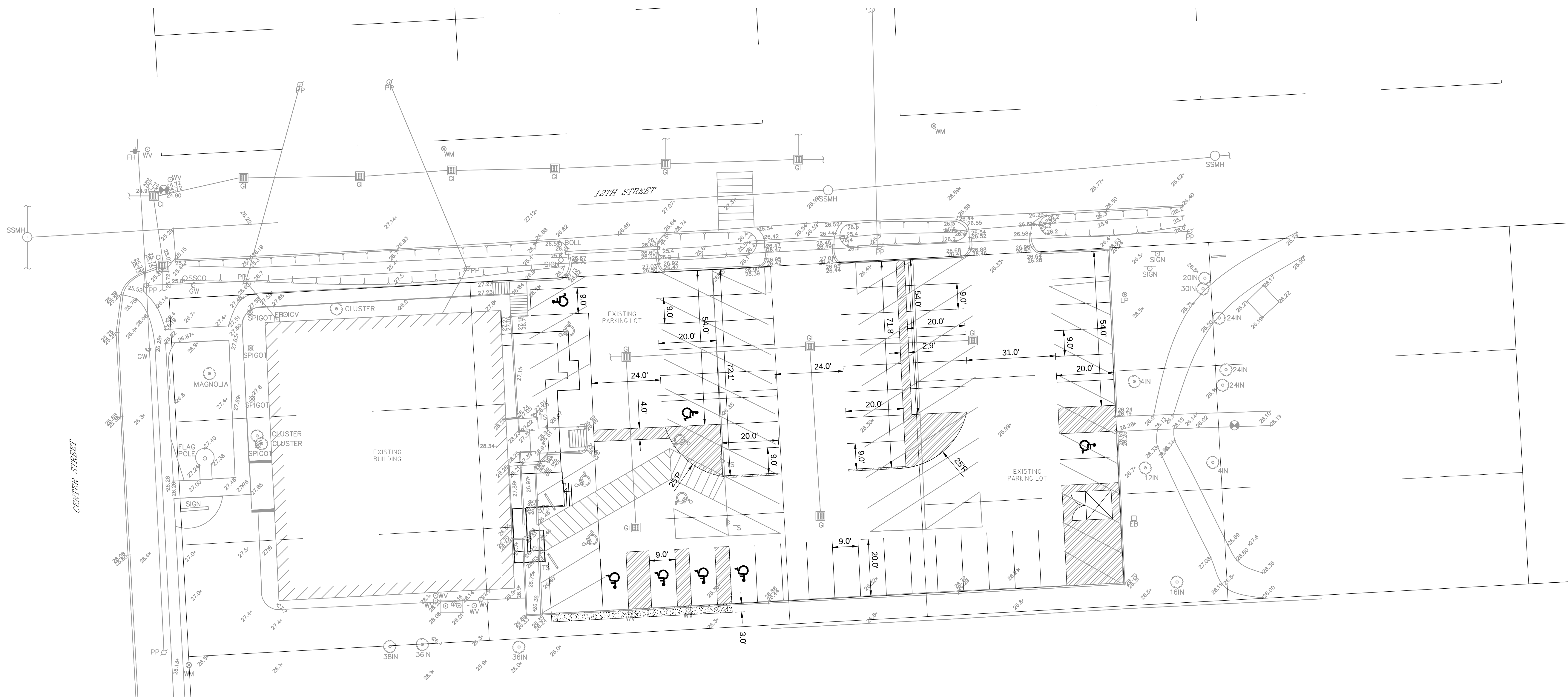
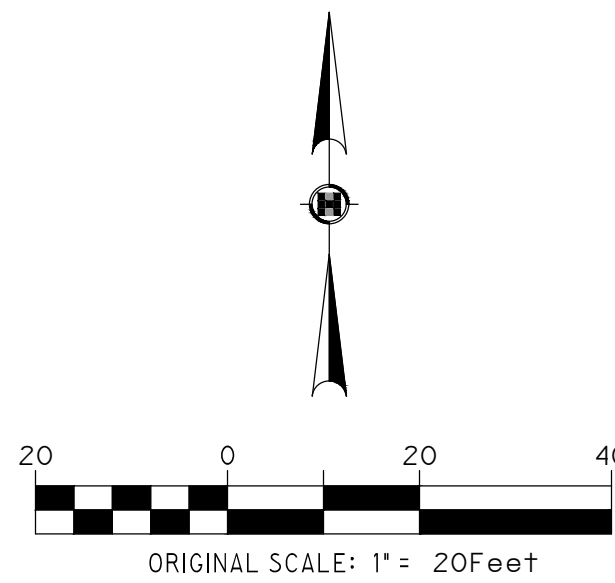
1201 CENTER ST, DEER PARK, TX 77536

DESIGN DEVELOPMENT

BRINKLEY SARGENT WINGTON ARCHITECTS

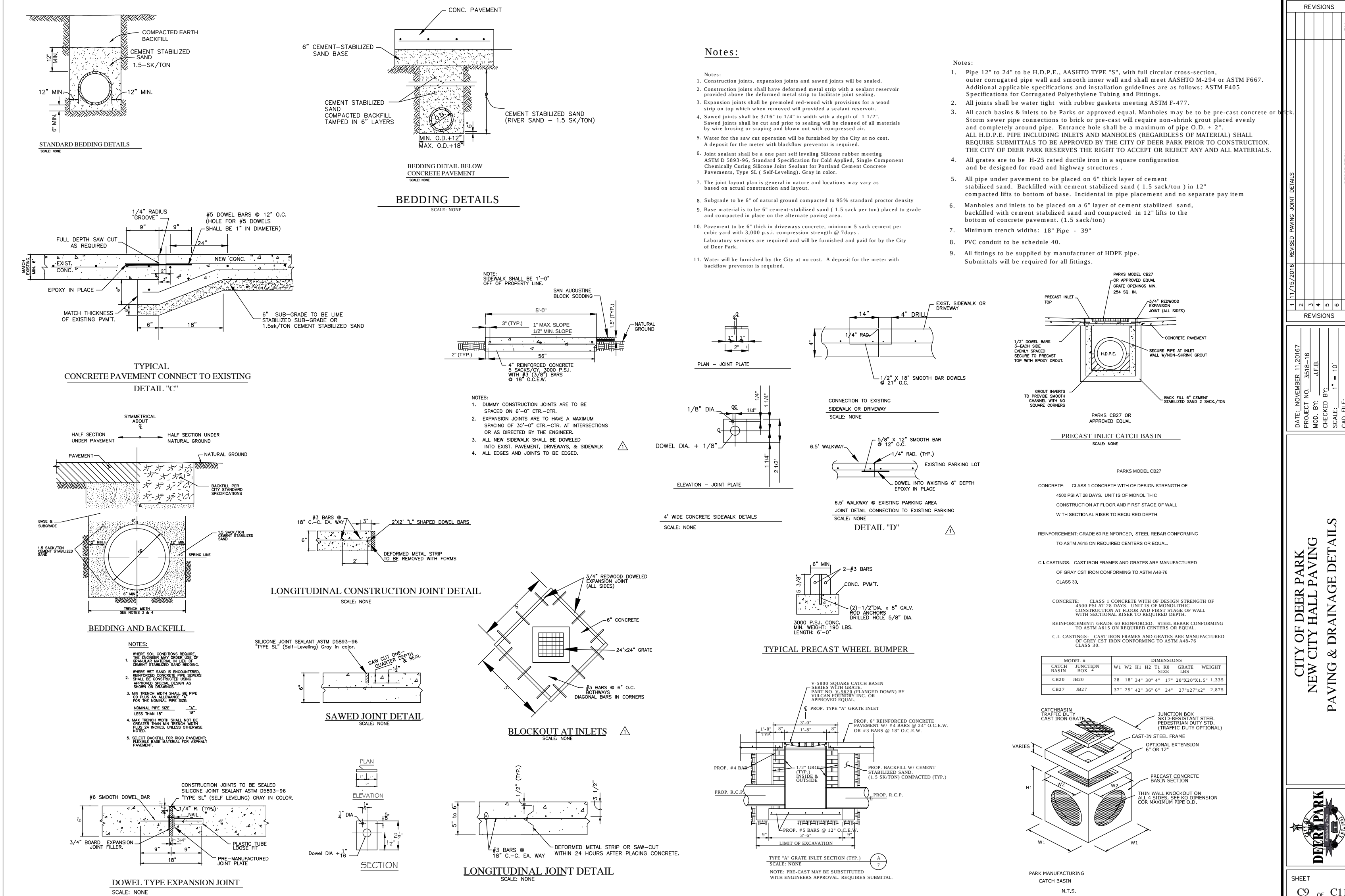
Maxwell Adult Center Addition

1201 CENTER ST., DEER PARK, TX 77536



NOTES

1. CONTRACTOR TO RESTRIPE EX. PARKING STALLS IN THE EX. CONFIGURATION.
2. PARKING STALLS SHALL BE 9'X20' AND DRIVE AISLES SHALL BE 24' WIDE UNLESS OTHERWISE NOTED.



DATE: NOVEMBER 11, 2016	REVISED DRAWING DATE DETAILS	NO.	REVISIONS
PROJECT NO. 5818-16		1	
W/O. BY: JFB		2	
CHECKED BY:		3	
SCALE: 1" = 10'		4	
		5	
		6	
W/O. FILE:			

CITY OF DEER PARK
NEW CITY HALL PAVING
VING & DRAINAGE DETAILS

PA

DEER PARK

SHEET

C of C

History		
#	Date	Description

THE SEAL ORIGINALLY APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY KRISTIN M. LEBLANC, PE NO. 101145 ON 3/15/2017. ALTERATION OF A PREVIOUSLY SEALED DOCUMENT WITHOUT PROPER NOTIFICATION TO THE RESPONSIBLE ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT. THE SECOND COPY OF THIS DRAWING IS ON FILE AT THE OFFICES OF HALFF ASSOCIATES, INC. 14800 ST. MARY'S LANE, SUITE 160 HOUSTON, TX 77079-2943
TUBE FIRM #F-

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FOR INTERIM REVIEW ONLY

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KRISTIN M. LEBLANC, PE	101145
NAME	P.E. NO.
DATE	3/16/201
TYPE FIRM NO. F-312	

Sheet
NamePAVING & DIMENSIONAL
LAYOUT

31558

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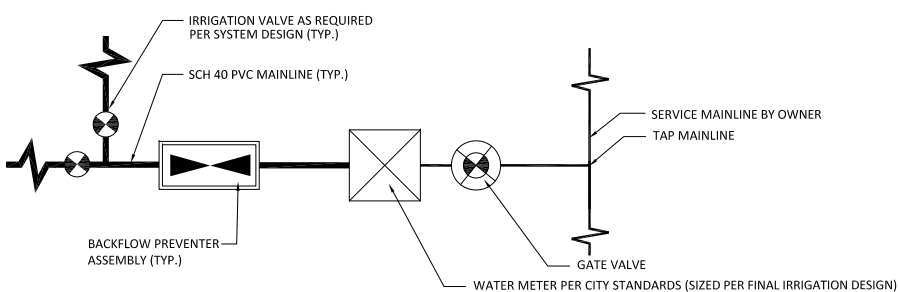
IRRIGATION NOTES:

1. THE SYSTEM SHALL BE DESIGNED BY A STATE OF TEXAS LICENSED IRRIGATOR AND SHALL FOLLOW ALL TCEQ CODES AND REGULATIONS. CONTRACTOR SHALL PROVIDE DESIGN SHOP DRAWINGS AND SPECIFICATIONS FOR IRRIGATION SYSTEM INCLUDING PLANS AND LOCATIONS TO LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO INSTALLATION. DESIGN SHALL BE A 2 WIRE IRRIGATION SYSTEM.
2. ALL LOCAL MUNICIPAL AND STATE LAWS, RULES AND REGULATIONS GOVERNING OR RELATING TO ANY PORTION OF THIS WORK ARE HEREBY INCORPORATED INTO AND MADE A PART OF THESE SPECIFICATIONS AND THEIR PROVISIONS SHALL BE CARRIED OUT BY THE CONTRACTOR.
3. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS REQUIRED TO PERFORM THE WORK INDICATED HEREIN BEFORE BEGINNING WORK.
4. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EXISTING UTILITIES, STRUCTURES AND SERVICES BEFORE COMMENCING WORK. THE LOCATIONS OF UTILITIES, STRUCTURES AND SERVICES SHOWN IN THESE PLANS ARE APPROXIMATE ONLY. ANY DISCREPANCIES BETWEEN THESE PLANS AND ACTUAL FIELD CONDITIONS SHALL BE REPORTED TO THE OWNER'S REPRESENTATIVE.
5. THE CONTRACTOR SHALL NOT WILLFULLY INSTALL ANY EQUIPMENT AS SHOWN ON THE PLANS WHEN IT IS OBVIOUS IN THE FIELD THAT UNKNOWN CONDITIONS EXIST THAT WERE NOT EVIDENT AT THE TIME THESE PLANS WERE PREPARED, ANY SUCH CONDITIONS SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO ANY WORK OR THE IRRIGATION CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR ANY FIELD CHANGES DEEMED NECESSARY BY THE OWNER.
6. THE CONTRACTOR SHALL OBTAIN THE PERTINENT ENGINEERING SITE DEVELOPMENT AND/OR ARCHITECTURAL PLANS BEFORE BEGINNING WORK.
7. ALL IRRIGATION SYSTEM COMPONENTS SHOULD BE DESIGNED AND SPECIFIED FOR POTABLE WATER APPLICATION. CONTRACTOR SHALL INSTALL IRRIGATION SYSTEM IN COMPLIANCE WITH ALL CURRENT TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) STANDARDS AND REGULATIONS FOR POTABLE WATER USE.
8. INSTALL ALL EQUIPMENT AS SHOWN IN THE DETAILS AND SPECIFICATIONS OR PER MANUFACTURER STANDARD SPECIFICATIONS. CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH LOCAL CITY, COUNTY AND STATE REQUIREMENTS FOR BOTH EQUIPMENT AND INSTALLATION.
9. CONTRACTOR SHALL BE RESPONSIBLE FOR ELECTRICAL CONNECTION TO CONTROLLER AND ALL OTHER ASSOCIATED TASKS NEEDED TO MAKE THE CONTROLLER OPERATIONAL. CONTRACTOR TO EQUIP EACH HEAD AND FREEZE SENSOR SHUT-OFF DEVICE. THE CONTRACTOR SHALL USE PROPER GROUNDING TECHNIQUES FOR GROUNDING THE CONTROLLER AND RELATED EQUIPMENT PER MANUFACTURERS SPECIFICATIONS.
10. ALL VALVES, PIPE, BUBBLERS AND HEADS SHOWN IN THE LEGEND (OR APPROVED EQUIVALS) SHALL BE USED IN THE DESIGN OF THE IRRIGATION SYSTEM. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO SIZE ALL PIPE TO ENSURE THAT THE SYSTEM HEADS AND BUBBLERS USED IN THE SYSTEM ADHERE TO THE MANUFACTURER'S SPECIFICATIONS WITH REGARDS TO, BUT NOT LIMITED TO, FLOW AND PRESSURE.
11. CONTRACTOR TO BANK VALVES/BOXES, IN NEAT AND ORDERLY MANNER INSIDE LANDSCAPE PLANTING AREAS. FOR TURF AND SPORT FIELD VALVES, COORDINATE PREFERRED LOCATION WITH OWNER PRIOR TO DESIGN AND/OR INSTALLATION. NO VALVES/BOXES SHALL BE PERMITTED WITHIN PLAYING FIELDS.
12. SPRINKLER HEAD SPACING SHALL BE DESIGNED AND PROVIDE FOR "HEAD-TO-HEAD" COVERAGE AND ADJUSTED FOR PREVAILING WINDS. THE SYSTEM SHALL PROVIDE MINIMUM RUN-OFF AND MINIMUM OVERSPRAY ONTO NON-IRRIGATED AREAS (I.E. DRIVEWAYS, SIDEWALKS, TURF, PLAY AREAS, AND BASES). TREES SHALL BE ZONED SEPARATELY. ALL HEADS ARE TO BE INSTALLED WITH THE NOZZLE, SCREEN AND ARCS SHOWN ON PLANS OR DETERMINED IN THE FIELD FOR HEAD-TO-HEAD COVERAGE. HEADS MUST HAVE MATCHED PRECIPITATION RATES WITHIN EACH CONTROL VALVE CIRCUIT.
13. ALL IRRIGATION LINES AND SLEEVES SHALL BE AT A DEPTH OF 18". DO NOT ROUTE PIPE DOWN THE CENTER OF THE TREE AND SHRUB BED AREAS; ALLOW FOR TREE AND SHRUB BED SANTINGS. AVOID ANY CONFLICTS BETWEEN THE IRRIGATION SYSTEM, PLANTING, UTILITIES, AND ARCHITECTURAL FEATURES.
14. ALL PIPE UNDER PAVED AREAS TO BE INSTALLED IN SLEEVING TWICE THE DIAMETER OF THE CARRIER. TREE SLEEVING FOR TYPE, ALL WIRE UNDER PAVED AREAS TO BE INSTALLED IN A SCH. 40 SLEEVING. THE SLEEVING MUST BE EASILY PULL WIRE THROUGH. ALL SLEEVES TO BE INSTALLED WITH A MIN. DEPTH AS SHOWN ON THE SLEEVING DETAILS.
15. ON DRIP IRRIGATION SYSTEMS, ALL WATER LINES SHALL BE THOROUGHLY FLUSHED BEFORE INSTALLING DRIFLINE.
16. ALL TREE IRRIGATION LATERAL LINES SHALL BE A MINIMUM OF 1" SCH. 40 PVC PIPE.
17. TREE BUBBLERS SHALL BE INSTALLED IN A MANNER TO DISTRIBUTE WATER EVENLY TO ROOT BALL, WHERE TREE IS PLANTED ON A SLOPE, INSTALLED BUBBLER ON UPHILL SIDE OF ROOTBALL. BUBBLERS SHALL BE PINNED DOWN ONE FOOT (1') AWAY FROM TRUNK WITH LANDSCAPE SOFT STAKES.
18. CONTRACTOR SHALL EXERCISE EXTREME CARE WHEN EXCAVATING NEAR TREES. NO MECHANICAL TRENCHING SHOULD BE PERMITTED BELOW THE DRIFLINE/CANOPY TO BE INSTALLED IN TREES. CONTRACTOR SHALL FIRST TEST TRENCH AND/OR EXCAVATE BY HAND TO AVOID DAMAGE TO EXISTING TREE ROOT SYSTEMS.
19. ALL MAINLINE AND LATERAL TRENCHES SHALL REMAIN OPEN UNTIL INSPECTED AND APPROVED BY OWNER AND/OR LANDSCAPE ARCHITECT.
20. COMPACTION OF THE PIPE TRENCHES SHALL BE SUFFICIENT TO LIMIT SHORT TERM SETTLING OF THE BACKFILL TO NO MORE THAN 1-INCH. THE CONTRACTOR SHALL CORRECT SETTLING GREATER THAN THIS WITHOUT ADDITIONAL COMPENSATION.
21. CONTRACTOR IS RESPONSIBLE FOR PROVIDING AS-BUILT DRAWINGS AND SPECIFICATIONS FOR IRRIGATION SYSTEM PRIOR TO PROJECT CLOSE-OUT. DELIVERABLE TO BE (1) HARD COPY SET, PDF DIGITAL COPY, AND AUTO CAD FILE.
22. WARRANTY: CONTRACTOR SHALL PROVIDE A ONE-YEAR REPLACEMENT WARRANTY FOR ALL IRRIGATION MATERIALS INCLUDING INSTALLATION. WARRANTY SHALL NOT COVER DAMAGE RESULTING FROM IMPROPER OPERATION OR MAINTENANCE PRACTICES BY OWNER.
23. IRRIGATION SPECIFICATIONS: WHEN WRITTEN TECHNICAL SPECIFICATION ARE PROVIDED AND CONFLICT WITH THESE PLANS SPECIFICATIONS, THE PLANS SPECIFICATIONS SHALL PREVAIL FOR THIS PROJECT.

IRRIGATION LEGEND

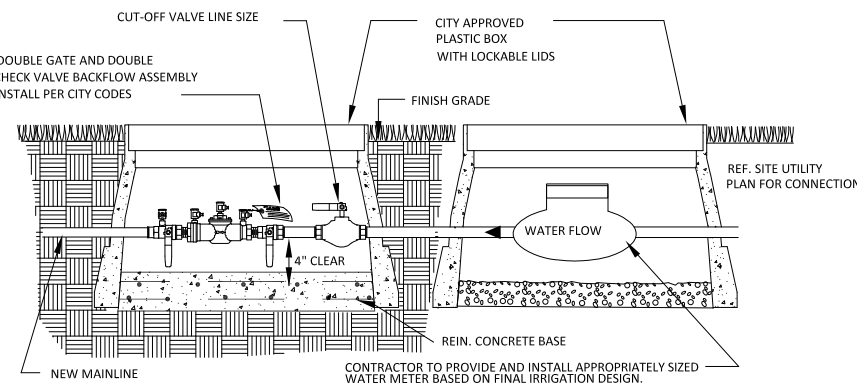
PRODUCT	LOCATION / NOTES
HUNTER I-25 POP-UP ROTARY HEAD	DRAIN TURF AREAS
NETAFIM TCV4-18 DRIPLINE	DRIP FOR PLANTING BEDS
NETAFIM LVC28010075-HF DRIP KIT	DRIP VALVE
BASILENE SOIL MOISTURE SENSOR	PLACE IN EACH HYDROZONE
RAIN BIRD PEB SERIES VALVES	ZONE VALVES
BASILENE PFS 16-PFS200 FLOW SENSOR	MASTER FLOW SENSOR AT METER CONNECTION
RAIN BIRD 200-PEB MASTER VALVE	MASTER VALVE AT METER CONNECTION
NIBCO ISOLATION VALVE	MAINLINE ISOLATION/SHUT-OFF VALVE
NECO 800 BACKFLOW PREVENTER	BFP DEVICE
BASILENE 1000 MODEL CONTROLLER	MAIN IRRIGATION CONTROLLER
HUNTER RAIN-CLIK	RAIN SENSOR
SLEEVING SCH 40 PVC	ALL LOCATIONS
LATERAL LINES CLASS 200 PVC	TYPICAL
MAINLINE SCH 40 PVC	ALL MAINLINES

NOTE: REFERENCE TO MANUFACTURER'S TRADE NAME OR CATALOG NUMBER IS FOR THE PURPOSE OF IDENTIFICATION ONLY. CONTRACTOR SHALL BE PERMITTED TO FURNISH LIKE MATERIALS OF OTHER MANUFACTURERS PROVIDED THEY ARE OF EQUAL QUALITY AND COMPLY WITH THE SPECIFICATIONS FOR THIS PROJECT AND ARE APPROVED BY THE OWNER OR OWNER'S REPRESENTATIVE. CONTRACTOR SHALL SUBMIT "EQUAL PRODUCTS" TO THE LANDSCAPE ARCHITECT OR OWNER'S AUTHORIZED REPRESENTATIVE, NO LATER THAN (7) DAYS PRIOR TO BID OPENING DATE FOR REVIEW AND APPROVAL/DISAPPROVAL OF THE PROPOSED "EQUAL PRODUCTS" SUBMITTED AFTER AWARD OF CONTRACT MAY BE DENIED AND THE CONTRACTOR MUST USE THE SPECIFIED PRODUCT/MATERIAL WITHOUT ADDITIONAL COMPENSATION.



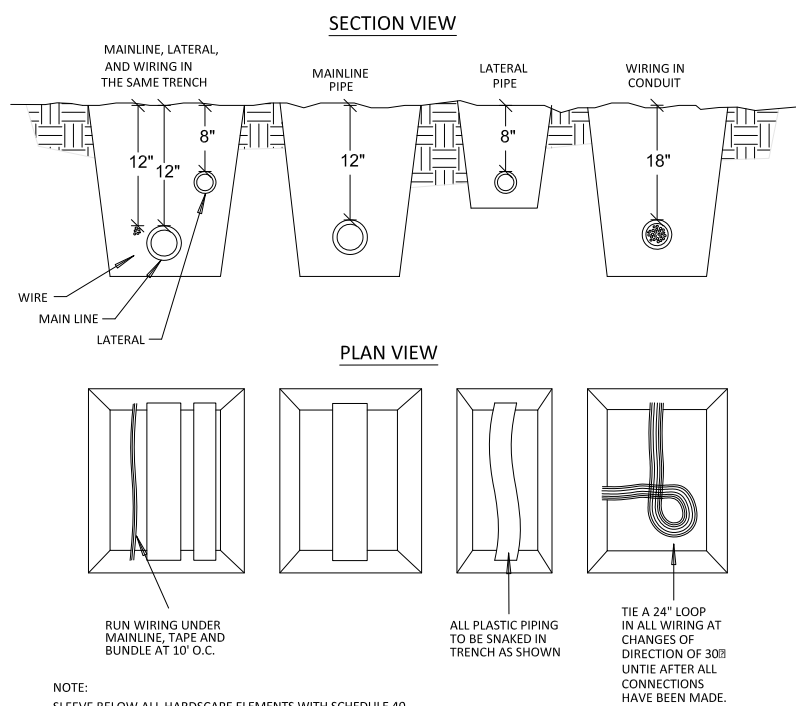
WATER CONNECTION (TYP.)

N.T.S.



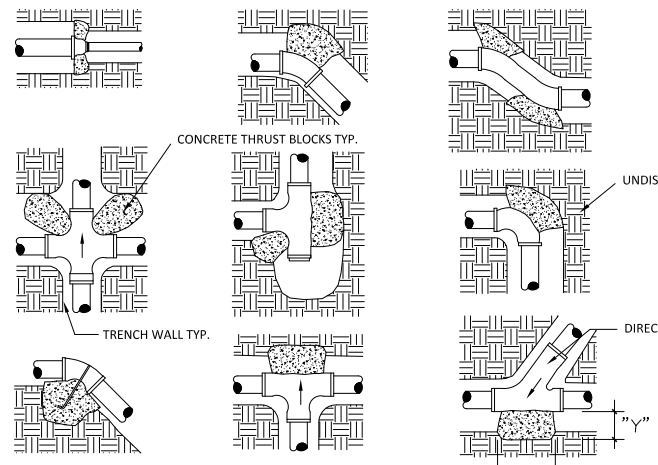
DOUBLE CHECK VALVE ASSEMBLY (TYP.)

N.T.S.



PIPE & WIRE TRENCHING (TYP.)

N.T.S.



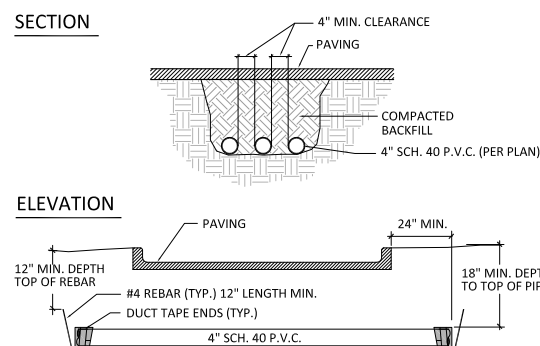
PIPE O.C.	"X"	"Y"
2" O.C.	"12"	"12"
3" O.C.	"12"	"12"
4" O.C.	"12"	"12"

NOTE:
ALL LINES 2" AND LARGER TO BE
INSTALLED WITH THRUST BLOCKS
AS SHOWN. TEST LINES PER
SPECIFICATIONS. REF. TRENCH
DETAIL FOR DEPTH AND MARKING.

1. ALL CONCRETE THRUST BLOCKS SHALL BEAR AGAINST UNDISTURBED TRENCH WALL.
2. MINIMUM DISTANCE FROM PIPE TO TRENCH WALL SHALL BE 12" AT THRUST BLOCK.
3. VERTICAL DIMENSION OF BEARING AREA AGAINST TRENCH WALL OF THRUST BLOCK SHALL BE EQUAL TO THE HORIZ. DIMENSION "X".
4. ALL JOINTS SHALL BE TEMPORARILY JACKED WHEN THE THRUST BLOCKS ARE POURED.
5. ALL JOINTS OF PIPE SHALL BE FREE OF CONCRETE.
6. ALL CONCRETE THRUST BLOCKS SHALL CONSIST OF 1:2:6 OF CEMENT, SAND & GRAVEL AND SHALL BE CURED A MIN. OF 24 HOURS.

PIPE THRUST BLOCKING (TYP.)

N.T.S.



NOTES:

1. ALL SLEEVES 4" SCH 40 PVC PIPE.
2. ALL JOINTS TO BE SOLVENT WELDED AND WATERTIGHT.
3. WHERE MORE THAN ONE SLEEVE, PROVIDED 4" CLEARANCE BETWEEN SLEEVES.
4. MECHANICALLY TAMP BACKFILL TO 95% PROCTOR.
5. THE ENDS OF SLEEVES SHALL BE SEALED WITH DUCT TAPE AND HAVE MIN. 18" BLOB PLACED AT THE ENDS OF THE SLEEVES TO ENABLE POSITIVE LOCATION WITH A PIN LOCATOR.
6. THE CONTRACTOR IS TO PERMANENTLY "MARK" THE LOCATION OF ALL SLEEVES ON THE SIDEWALK, CURB, TRAIL OR ADJACENT PAVEMENT. THE "MARK" SHALL BE A STAMPED "S" THAT IS 2" IN HEIGHT AND WIDTH. THE MARK SHALL ALSO BE PLACED DIRECTLY OVER THE CENTER OF THE SLEEVE. IF MORE THAN ONE SLEEVE IS PROVIDED MARK THE MIDDLE SLEEVE.

IRRIGATION SLEEVING (TYP.)

N.T.S.

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Landscape: Half Associates Inc. (512) 777-4600
Structural: Schmitz Partners Engineers (281) 427-3006
MEP: Stanton Engineering Group (713) 300-9292
Civil: Half Associates inc. (713) 688-2450

Maxwell Adult Center Addition

1201 CENTER ST., DEER PARK, TX 77536

50% CONSTRUCTION DOCUMENTS

History		
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KRISTIN M. LEBLANC, PE	101145
NAME	P.E. NO.
DATE	3/16/20
TSPE FIRM NO. F-312	

Sheet
Name

IRRIGATION
NOTES AND
DETAILS