

**Application for Amendment
to the
City of Deer Park, Texas Zoning Ordinance**

To: City of Deer Park
Planning & Zoning Commission

Date Submitted: 1/30/2018 (RESUB 3/9/2018)

(I and/or We) Windrose Land Services, on behalf of Wells Fargo, N.A. hereby make application for an amendment to the City of Deer Park Zoning Ordinance on the following described property (legal description):

A 0.4616 acre tract, situated in the G. Patrick Survey, Abstract No. 624, being Lots 7 and 8 and a portion of an undeveloped

30-foot public alley out of Block 13, Shell City, Vol. 11, Pg. 31, H.C.M.R., located on the south side of Sixth Street and

100 feet east of the intersection with Center Street, City of Deer Park, City Limits, Harris County, Texas.

Currently zoned as SF-2 Request to be zoned to GC

Deed Restrictions on the above described property are as follows:

There are no deed restrictions of record (City Planning Letter attached).

(I and/or We) Windrose Land Services, on behalf of Wells Fargo, N.A. have paid the application fee of \$1,000.00 to the City of Deer Park City Secretary and a copy of the receipt is attached.

1/30/2018 RESUB 3/9/2018
Date

Andrew Allemand, Windrose Land Services
Owner's Designated Representative (if any)

Letter of Authorization Attached to Application

Property Owner's Signature

Other Representative (if any)

A copy of the certificate of ownership or title is attached to the application

LETTER OF AUTHORIZATION

From: Wells Fargo Bank, N.A.
12200 Northwest Freeway, Suite 320
Houston, TX 77092

To: City of Deer Park
ATTN: Larry Brotherton Chief Building Official
710 E San Augustine
Deer Park, TX 77536

To Whom It May Concern:

The undersigned duly authorized representative of Wells Fargo Bank, N.A., the record owners of the 0.4616 acre situated in the G. Patrick Survey, Abstract No. 624, being Lots 7 and 8 and a portion of an undeveloped 30-foot public alley out of Block 13, Shell City, Vol. 11, Pg. 31, H.C.M.R., located on the south side of Sixth Street and 100 feet east of the intersection with Center Street, City of Deer Park, City Limits, Harris County, Texas, do hereby authorize Windrose Surveying and Land Services, LLC, to submit a land use rezoning application within the corporate limits of the City of Deer Park, Harris County, Texas, to rezone said property from Single-Family 2 District (SF-2) to General Commercial District (GC).

By: Wells Fargo Bank, N.A.

Signature: _____

Charles L. Fields
Vice President

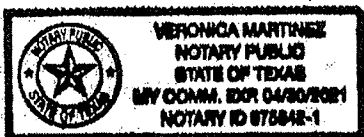
State of Texas

County of Harris

I, the undersigned Notary Public for Harris and Texas (print County and State), do hereby certify that Charles L. Fields personally came before me this day and acknowledged that he is the Vice President of Wells Fargo Bank, a National Association, and that they as Vice President being authorized to do so, executed the foregoing on behalf of the National Association.

Witness my hand and official seal, this the 30th day of January, 2018.

(Personalized Seal)



Veronica Martinez
Notary Public

My Commission Expires: 04/30/2021

151-16-0834

DEED

THE STATE OF TEXAS

X

COUNTY OF HARRIS

X

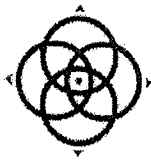
KNOW ALL MEN BY THESE PRESENTS:

That the CITY OF DEER PARK, TEXAS, (hereinafter called Grantor), a Municipal Corporation organized and existing under the laws of the State of Texas, acting by and through its Mayor and City Secretary, hereunto authorized by Ordinance No. 1214 of the City Council of said Municipal Corporation, as evidence by a copy of said Ordinance hereto attached, marked Exhibit A and made a part hereof, for and in consideration of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to it in hand paid by ALLIED DEER PARK BANK, (hereinafter called Grantee), the receipt and sufficiency of all of which consideration are hereby acknowledged and confessed, has GRANTED, BARGAINED, SOLD and CONVEYED, and by these presents does hereby GRANT, BARGAIN, SELL and CONVEY unto the said Grantee, all of that certain tract or parcel of land situated in Harris County, Texas, more particularly described as follows, to-wit:

Lots One (1) through Eight (8) in Block Thirteen (13) of SHELL CITY, an addition in Harris County, Texas, according to the map or plat thereof recorded in Volume 11, Page 31 of the Map Records of Harris County, Texas, together with a 30' strip between Lots One (1) through Six (6) and Lot (7) described in Deed from the City of Deer Park to the First Baptist Church of Deer Park, recorded in Volume 3136 at Page 64 of the Deed Records of Harris County, Texas.

This conveyance is made and accepted subject to city zoning ordinances and all easements, rights-of-way, covenants and restrictions affecting the use of the property hereby conveyed now of record in the office of the County Clerk of Harris County, Texas.

TO HAVE AND TO HOLD the above described land and premises, together with all and singular the rights and appurtenances thereto in anywise belonging unto the said Grantee, its heirs, successors and assigns



WINDROSE

LAND SURVEYING | PLATTING

DESCRIPTION OF 0.4616 ACRES OR 20,108 SQ. FT.

A TRACT OR PARCEL CONTAINING 0.4616 ACRES OR 20,108 SQUARE FEET OF LAND SITUATED IN THE G. PATRICK SURVEY, ABSTRACT NO. 624, CITY OF DEER PARK, HARRIS COUNTY, TEXAS, BEING ALL OF LOTS 7 - 8, TOGETHER WITH A 30 FOOT STRIP BETWEEN LOTS 1-6 AND LOT 7, BLOCK 13, SHELL CITY, MAP OR PLAT THEREOF RECORDED UNDER VOLUME 11, PAGE 31, HARRIS COUNTY MAP RECORDS (H.C.M.R.), BEING OUT OF A TRACT OF LAND CONVEYED TO ALLIED DEER PARK BANK, RECORDED UNDER HARRIS COUNTY CLERK'S FILE (H.C.C.F.) NO. E932919, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, WITH ALL BEARINGS BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83):

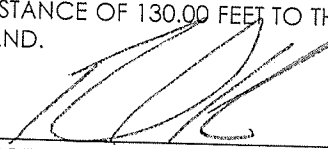
BEGINNING AT A CAPPED 5/8-INCH IRON ROD STAMPED "WINDROSE" SET ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SIXTH STREET (50 FOOT R.O.W. PER VOLUME 11, PAGE 31, H.C.M.R.) FOR THE NORTHWEST CORNER OF LOT 9, BLOCK 13, OF SAID SHELL CITY, CONVEYED TO JAMES A. SPARKMAN, AS RECORDED UNDER H.C.C.F. NO. S753618, THE NORTHEAST CORNER OF SAID LOT 8, AND THE NORTHEAST CORNER OF THE HEREIN DESCRIBED TRACT, FROM WHICH A FOUND 1/2-INCH IRON PIPE BEARS NORTH 79 DEG. 20 MIN. EAST, A DISTANCE OF 0.83 FEET;

THENCE, SOUTH 03 DEG. 23 MIN. 10 SEC. EAST, WITH THE COMMON LINE OF SAID LOT 8 AND LOT 9, A DISTANCE OF 155.34 FEET TO A CAPPED 5/8-INCH IRON ROD STAMPED "WINDROSE" SET ON THE NORTH LINE OF THE RESIDUE OF A TRACT OF LAND CONVEYED TO DEER PARK NATIONAL BANK, AS RECORDED IN VOL. 3360, PG. 95, OF THE HARRIS COUNTY DEED RECORDS (H.C.D.R.), FOR THE SOUTHWEST CORNER OF SAID LOT 9, THE SOUTHEAST CORNER OF SAID LOT 8, AND THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, SOUTH 87 DEG. 11 MIN. 50 SEC. WEST, A DISTANCE OF 130.01 FEET TO THE SOUTHEAST CORNER OF SAID LOT 6 AND THE SOUTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, NORTH 03 DEG. 23 MIN. 10 SEC. WEST, WITH THE EAST LINE OF SAID LOTS 1 - 6, A DISTANCE OF 154.02 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID SIXTH STREET, FOR THE NORTHEAST CORNER OF SAID LOT 1 AND THE NORTHWEST CORNER OF THE HEREIN DESCRIBED TRACT;

THENCE, NORTH 86 DEG. 36 MIN. 50 SEC. EAST, WITH THE SOUTHERLY RIGHT-OF-WAY LINE OF SAID SIXTH STREET, A DISTANCE OF 130.00 FEET TO THE **PLACE OF BEGINNING** AND CONTAINING 0.4616 ACRES OR 20,108 SQUARE FEET OF LAND.


ROBERT KNESS
R.P.L.S. NO. 6486
STATE OF TEXAS
FIRM REGISTRATION NO. 10108800



01-30-2018
DATE:

713.458.2281 I 3200 WILCREST, STE 325, HOUSTON, TX 77042

ANDREW ALLEMAND
PLATTING AND BUSINESS DEVELOPMENT
3200 WILCREST, SUITE 325 | HOUSTON, TX 77042
O: (713) 458-2281 | D: (832) 360-1694 | C: (281) 975-9065
WINDROSESERVICES.COM | FIRM REGISTRATION NO.
10108800

CITY OF DEER PARK

ReZoning



LN- 000167 -2018

PERMIT #: LN- 000167 -2018

ISSUED DATE: January 30, 2018

PROJECT:

EXPIRATION DATE: January 30, 2019

PROJECT ADDRESS: 110 E SIXTH ST

OWNER NAME: Wells Fargo Bank

CONTRACTOR:

ADDRESS: 110 E Sixth St

ADDRESS:

CITY: DEER PARK

CITY:

STATE: TX

STATE:

ZIP: 77536

ZIP:

PHONE:

PROJECT DETAILS

PROPOSED USE:

SQ FT: 0

DESCRIPTION: Rezone Request From Sf2 To Gc

VALUATION: \$ 0.00

PERMIT FEES

TOTAL FEES: \$ 1,000.00

PAID: \$ 1,000.00

BALANCE: \$ 0.00

ALL PERMITS MUST BE POSTED ON THE JOBSITE AND VISIBLE FROM THE STREET

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 1 YEAR AT ANY TIME AFTER WORK IS STARTED. ALL PERMITS ARE SUBJECT TO THE FOLLOWING:

- ALL WORK MUST COMPLY WITH THE BUILDING, ELECTRICAL, PLUMBING, AND MECHANICAL CODES ADOPTED BY THE CITY OF DEER PARK AT THE TIME THE PERMIT IS ISSUED.
- IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO COMPLY WITH ALL STATE & FEDERAL DISABILITY REQUIREMENTS.
- ENCROACHMENTS OF EASEMENTS AND RIGHT-OF-WAYS ARE NOT ALLOWED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF A PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAW REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

DATE

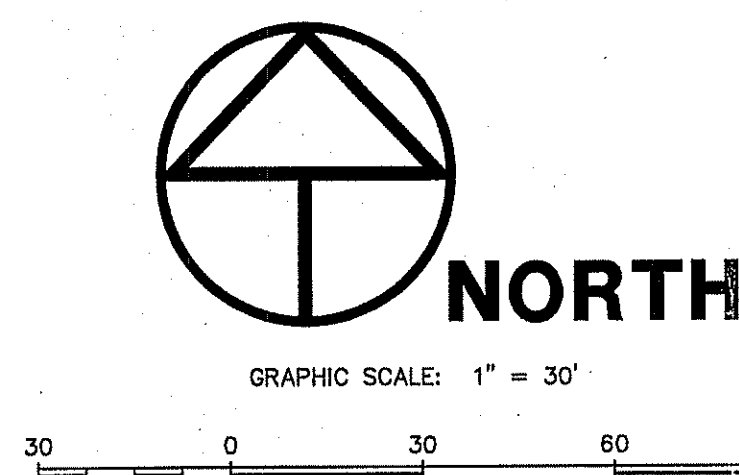
APPROVED BY

DATE

TO SCHEDULE NEXT DAY INSPECTIONS CALL BY 4PM 281-478-7270
ALL REINSPECTIONS ARE SUBJECT TO A \$45.00 REINSPECTION FEE

You can request a morning or afternoon inspection and we will do our best to accommodate you but there are no guarantees, it will depend on the volume of inspections scheduled that day.

710 E San Augustine Deer Park, TX 77536 Fax 281-478-0394
www.deerparktx.gov/publicworks



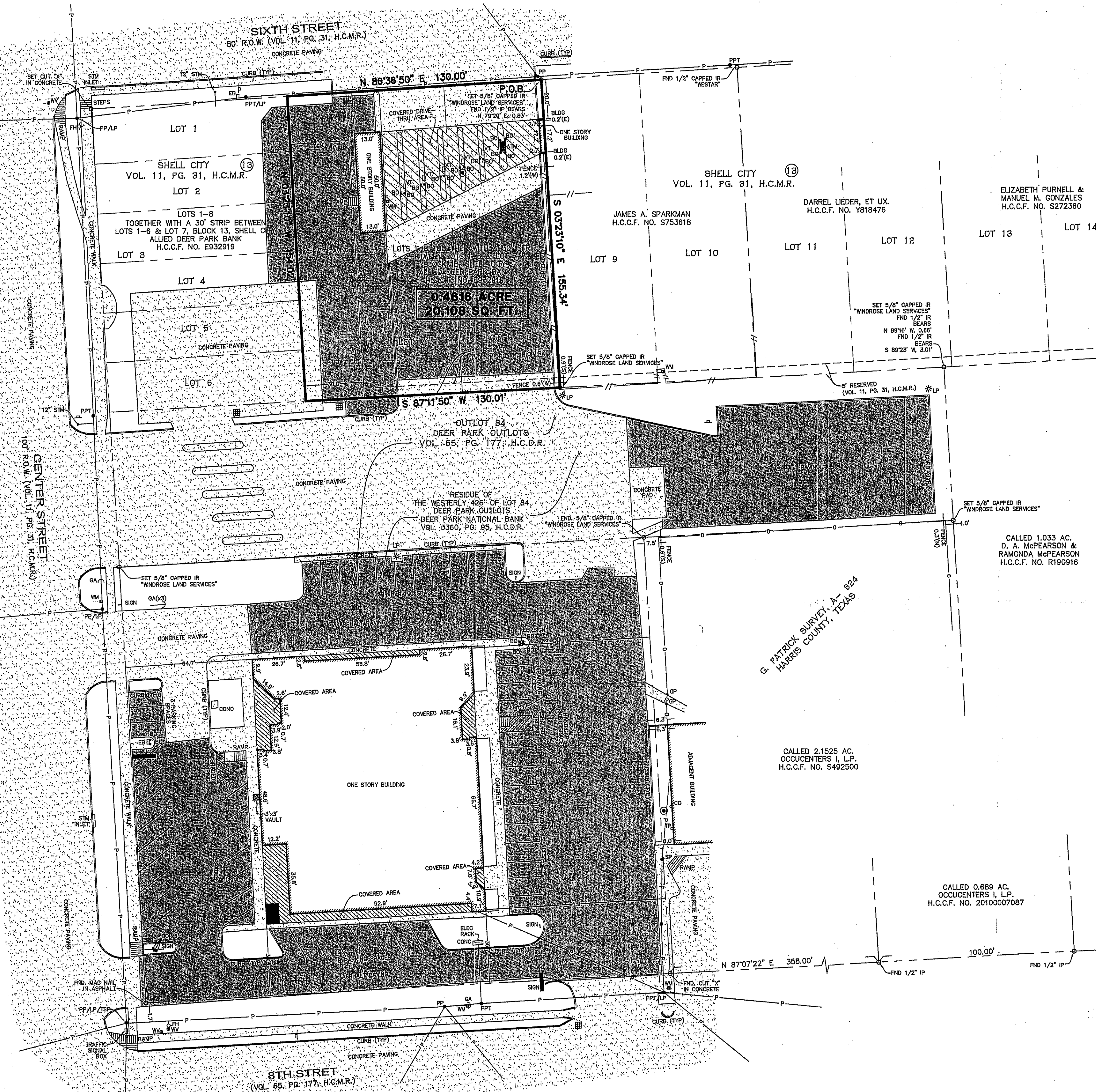
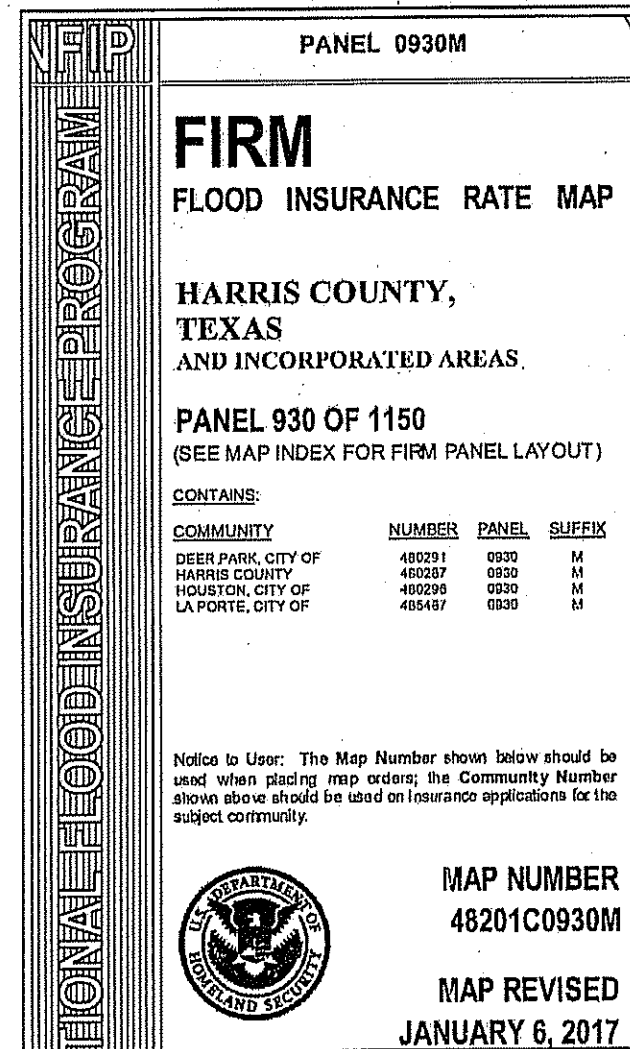
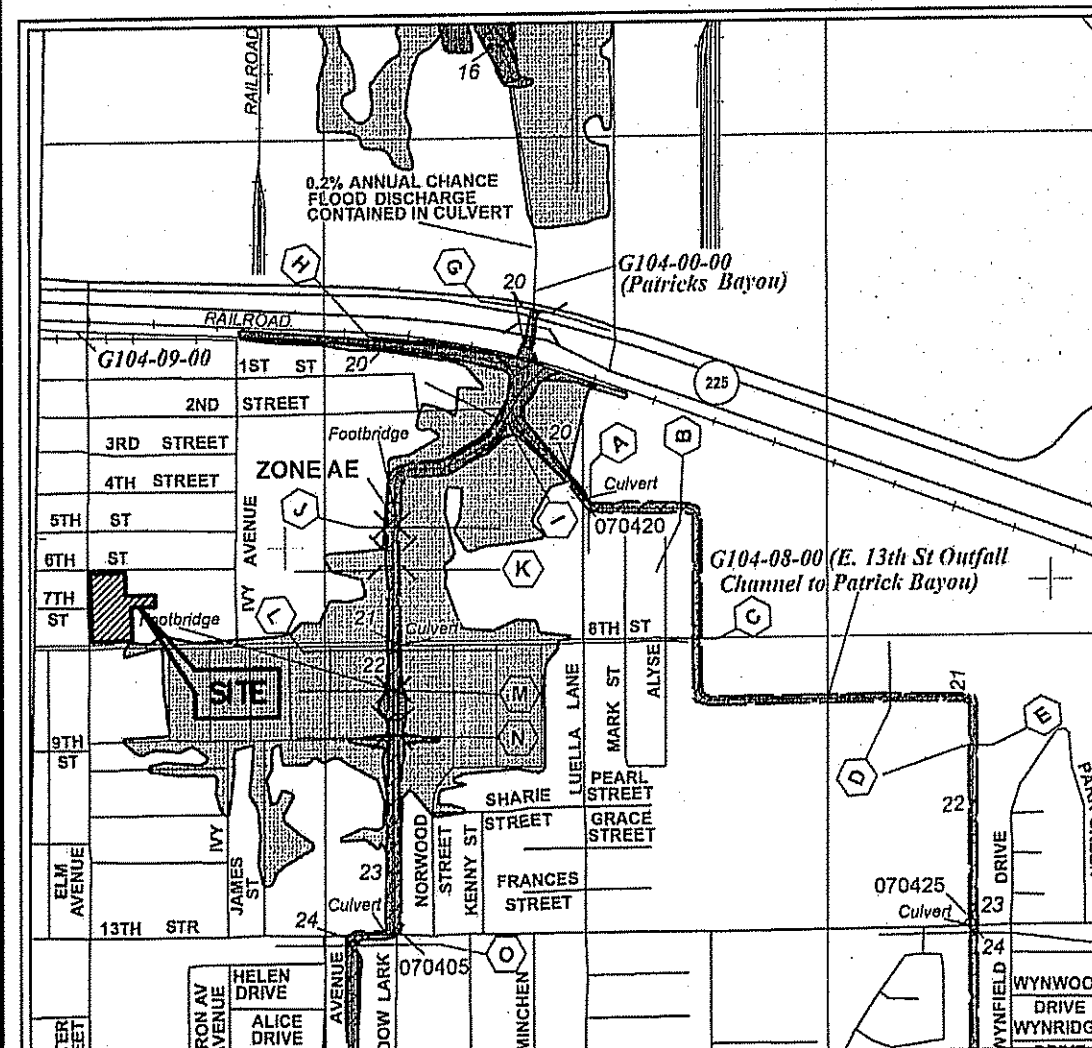
- ### SCHEDULE 'B' NOTES

B.1 SUBJECT TO RESTRICTIVE COVENANTS RECORDED UNDER VOLUME 855, PAGE 98, OF THE DEED RECORDS OF HARRIS COUNTY, TEXAS. (AFFECTS SUBJECT TRACT)

B.10(d) A FIVE (5) FOOT EASEMENT OVER THE REAR OF LOTS SEVEN (7) AND EIGHT (8), ONLY, AS SHOWN BY THE RECORDED PLAT/MAP OF SAID SUBDIVISION. (AFFECTS SUBJECT TRACT. SHOWN HEREON)

B.10(e) SUBJECT TO THE ZONING ORDINANCES NOW IN FORCE IN THE CITY OF DEER PARK, TEXAS. (AFFECTS SUBJECT TRACT)

FLOOD INFORMATION



DESCRIPTION

A TRACT OR PARCEL CONTAINING 0.4616 ACRES OR 20,108 SQUARE FEET OF LAND SITUATED IN THE G. PATRICK SURVEY, ABSTRACT NO. 624, CITY OF DEER PARK, HARRIS COUNTY, TEXAS, BEING ALLOT 7, 8, TOGETHER WITH A 30 FOOT STRIP BETWEEN ALLOT 7 AND ALLOT 13, SUELL CITY, MAP OR RECORD THEREOF RECORDED UNDER VOLUME 11, PAGE 31, HARRIS COUNTY MAP RECORDS (H.C.M.R.), BEING OUT OF A TRACT OF LAND CONVEYED TO ALLIED DEER PARK BANK, RECORDED UNDER HARRIS COUNTY CLERK'S FILE (H.C.C.F.) NO. E932919, SAID TRACT BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS, WITH ALL BEARINGS BEING ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83):

BEGINNING AT A CAPPED 5/8-INCH IRON ROD STAMPED "WINDROSE" SET ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SIXTH STREET (50 FOOT R.O.W. PER VOLUME 11, PAGE 31, H.C.M.R.) FOR THE NORTHWEST CORNER OF LOT 9, BLOCK 13, OF SAID SHELL CITY, CONVEYED BY JAMES A. SPARKMAN, RECORDED UNDER RECORD NO. 10,187-8, IN THE NORTH-EAST CORNER OF SAID LOT 9, AND THE NORTH-EAST CORNER OF THE HEREIN DESCRIBED TRACT, FROM WHICH A FOUND 1/2-INCH IRON PIPE BEARS NORTH 79 DEG. 20 MIN. EAST, A DISTANCE OF 0.83 FEET;

THENCE, SOUTH 03 DEG. 23 MIN. 10 SEC. EAST, WITH THE COMMON LINE OF SAID LOT 8 AND LOT 9, A DISTANCE OF 155.34 FEET TO A CAPPED 5/8-INCH IRON ROD STAMPED "WINDROSE" SET ON THE NORTH LINE OF THE RESIDUE OF A TRACT OF LAND CONVEYED TO DEER PARK NATIONAL BANK, AS RECORDED IN VOL. 3360, PG. 95, OF THE HARRIS COUNTY DEED RECORDS (H.C.D.R.), FOR THE SOUTHWEST CORNER OF SAID LOT 9, THE SOUTHEAST CORNER OF SAID LOT 8, AND THE SOUTHEAST CORNER OF THE HEREIN DESCRIBED TRACT;

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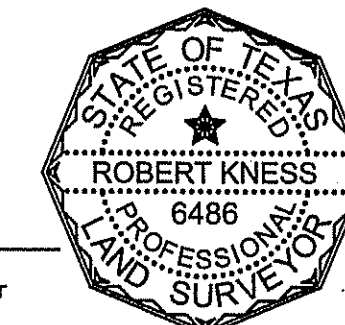
THENCE, NORTH 86 DEG. 36 MIN. 50 SEC. EAST, WITH THE SOUTHERLY
RIGHT-OF-WAY LINE OF SAID SIXTH STREET, A DISTANCE OF 130.00 FEET TO THE
PLACE OF BEGINNING AND CONTAINING 0.4616 ACRES OR 20,108 SQUARE FEET OF
LAND.

GENERAL NOTES

1. SURVEYOR DID NOT ABSTRACT SUBJECT PROPERTY. THIS SURVEY WAS PREPARED WITH INFORMATION CONTAINED IN TITLE COMMITMENT OF NO. 49081700041 OF FIDELITY NATIONAL TITLE COMPANY, INC. OF TEXAS, COUNTY OF TARRANT, TEXAS, DATED 20, 2017, ISSUED DATE OF JULY 26, 2017, AND IS SUBJECT TO THE LIMITATIONS OF SAID COMMITMENT.
2. BEARINGS WERE BASED ON THE TEXAS STATE PLANE COORDINATE SYSTEM, SOUTH CENTRAL ZONE (NAD 83). ALL DISTANCES SHOWN HEREON ARE SURFACE DISTANCES AND MAY BE DIFFERENT TO GRASS TO GRASS MEASUREMENTS.
3. ACCORDING TO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP (FIRM) FOR HARRIS COUNTY, TEXAS, MAP NO. 48201C0930M, DATED 08/01/2013, THE SUBJECT PROPERTY IS LOCATED WITHIN AN AREA OF SPECIAL FLOOD HAZARD ZONE "A". THIS DETERMINATION WAS DONE BY GRAPHIC PLOTTING AND IS APPROXIMATE ONLY, AND HAS NOT BEEN FIELD VERIFIED. THIS FLOOD STATEMENT DOES NOT IMPLY THAT THE SUBJECT PROPERTY IS IN A FLOOD HAZARD AREA. FLOODING CAN OCCUR AT ANY TIME, AND DAMAGE, ON RARE OCCASIONS FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE EXCEEDED. THE FLOOD STATEMENT DOES NOT IMPLY THAT THE FLOOD STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF WINDROSE AND SERVICES.
4. READILY VISIBLE IMPROVEMENTS AND UTILITIES WERE LOCATED WITH THIS SURVEY. NO SURFACE PROBING, EXCAVATION OR EXPLORATION WAS PERFORMED BY WINDROSE AND SERVICES.
5. ENVIRONMENTAL AND DRAINAGE ISSUES ARE BEYOND THE SCOPE OF THIS SURVEY.
6. THE SQUARE FOOTAGE TOTALS SHOWN HEREON ARE BASED ON THE MATHEMATICAL CALCULATION OF THE TOTAL AREA OF THE SUBJECT PROPERTY. THESE TOTALS MAY INCLUDE THE TOLERANCES THAT MAY BE PRESENT DUE TO THE POSITIONAL ACCURACY OF THE BOUNDARY MONUMENTATION.
7. THE SHOWN DIMENSIONAL TIES ARE SHOWN WHERE THEY ARE PHYSICALLY MEASURED. THE FENCE MAY MEANDER BETWEEN MEASURED LOCATIONS.
8. THE WORD "CERTIFY" OR "CERTIFICATE" AS SHOWN AND USED HEREON MEANS AN AFFIRMATION OF THE TRUTH OF THE FACTS STATED. THE SURVEYOR AND DOES NOT CONSTITUTE A WARRANTY OR GUARANTEE, EXPRESSED OR IMPLIED.

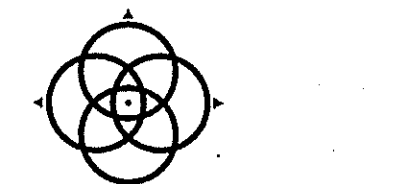
SURVEYOR'S CERTIFICATION

I DO HEREBY CERTIFY THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND AND WAS PERFORMED UNDER MY SUPERVISION. THAT THIS PLAT CORRECTLY REPRESENTS THE FACTS FOUND AT THE TIME OF THIS SURVEY TO THE BEST OF MY KNOWLEDGE.



ROBERT KNESS
Registered Professional Land Surveyor
Texas Registration No. 6486

01-30-2018
DATE



WINDROSE
LAND SURVEYING | PLATTING

3200 WILCREST, SUITE 325 | HOUSTON, TX 77042 | 713.458.2281
FIRM REGISTRATION NO. 10108800 | WINDROSESERVICES.COM

STANDARD LAND SURVEY OF
0.4616 AC. / 20,108 SQ. FT.
OF LAND
SITUATED IN THE
G. PATRICK SURVEY, A-624
CITY OF DEER PARK,
HARRIS COUNTY, TEXAS

REVISIONS		
DATE	REASON	B

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FILED BY: JM	CHECKED BY: KA	JOB NO. 53437-R3
DRAWN BY: DG/TMW	DATE: JANUARY 2018	SHEET NO. 1 OF 1

PPH 3.05.18 7:15
BROWN DAYNENE
116 W VAUGHN LN
DEER PARK, TX 77536-4834

PPH 3.05.18 7:15
OCCUCENTERS I LP
5080 SPECTRUM DR STE 1200W
ADDISON, TX. 75001-4624

PPH 3.05.18 7:15
CURRENT OWNER
222 EAST X STREET
DEER PARK, TX 77536

PPH 3.05.18 7:15
JAM TEXAS PROPERTIES LLC
1003 BRIARMEAD DR
HOUSTON, TX 77057-1146

PPH 3.05.18 7:15
WEBER MARK
PO BOX 66359
HOUSTON, TX 77266-6359

PPH 3.05.18 7:15
JUMON PROPERTIES LLC
714 CENTER ST
DEER PARK, TX 77536-2746

PPH 3.05.18 7:15
MCPEARSON D A & RAMONDA
PO BOX 154
DEER PARK, TX 77536

PPH 3.05.18 7:15
MEMON AMBER M
3810 BOGOTA DRIVE
PASADENA, TX 77505-3308

PPH 3.05.18 7:15
SMELLEY KAREN
109 EAST 6TH STREET
DEER PARK, TX 77536-2721

PPH 3.05.18 7:15
LIEDER DARREL & KENNA
313 SYLVIA STREET
DEER PARK, TX 77536-3418

PPH 3.05.18 7:15
BUCHANAN JANA B
6111 COLFAX ST
HOUSTON, TX 77020-3059

PPH 3.05.18 7:15
GLOBAL NEW MILLENNIUM PART.
4415 HIGHWAY 6
SUGARLAND, TX. 77478-4476

PPH 3.05.18 7:15
SPARKMAN JAMES A
120 EAST 6TH STREET
DEER PARK, TX 77536-2722

PPH 3.05.18 7:15
SALA SERGIO & CRISTAL G
126 EAST 5TH STREET
DEER PARK, TX. 77536

PPH 3.05.18 7:15
BIG DIAMOND INC
PO BOX 690110
SAN ANTONIO, TX 78269-0110

PPH 3.05.18 7:15
PURNELL ELIZABETH
319 BAY SPRING DRIVE
LEAGUE CITY, TX 77573-5773

PPH 3.05.18 7:15
WELLS FARGO BANK – 92556
PO BOX 63931
SAN FRANCISCO, CA 94163-0001

PPH 3.05.18 7:15
ALLIED DEER PARK BANK
% WELLS FARGO BANK 92556
PO BOX 63931
SAN FRANCISCO, CA 94163-0001

PPH 3.05.18 7:15
WELLS FARGO BANK
110 EAST SIXTH ST
DEER PARK, TX 77536

MCPEARSON D A & RAMONDA
PO BOX 154
DEER PARK, TX 77536-0154

OCCUCENTERS I LP
5080 SPECTRUM DR STE 1200W
ADDISON, TX 75001-4624

ALLIED DEER PARK BANK % WELLS
FARGO BANK 92556
PO BOX 63931
SAN FRANCISCO, CA 94163-0001

BIG DIAMOND INC
PO BOX 690110
SAN ANTONIO, TX 78269-0110

WEBER MARK
PO BOX 66359
HOUSTON, TX 77266-6359

BUCHANAN JANA B
6111 COLFAX ST
HOUSTON, TX 77020-3059

SALAS SERGIO & CRISTAL G
126 E 5TH ST
DEER PARK, TX 77536-2718

SMELLEY KAREN
109 E 6TH ST
DEER PARK, TX 77536-2721

CURRENT OWNER
222 E X ST
DEER PARK, TX 77536-3561

~~CURRENT OWNER
CURRENT ADDRESS
CURRENT ADDRESS
NULL, NULL NULL~~

JAM TEXAS PROPERTIES LLC
1003 BRIARMEAD DR
HOUSTON, TX 77057-1146

BROWN DAYNENE
116 W VAUGHN LN
DEER PARK, TX 77536-4834

SPARKMAN JAMES A
120 E 6TH ST
DEER PARK, TX 77536-2722

LIEDER DARREL E & KENNA B
313 SYLVIA ST
DEER PARK, TX 77536-3418

PURNELL ELIZABETH
319 BAY SPRING DR
LEAGUE CITY, TX 77573-5773

WELLS FARGO BANK - 92556
PO BOX 63931
SAN FRANCISCO, CA 94163-0001

MEMON AMBER M
3810 BOGOTA DR
PASADENA, TX 77505-3308

~~MEMON AMBER M
514 CENTER ST
DEER PARK, TX 77536-2742~~

GLOBAL NEW MILLENNIUM PARTNERS
LTD
4415 HIGHWAY 6
SUGAR LAND, TX 77478-4476

JUMON PROPERTIES LLC
714 CENTER ST
DEER PARK, TX 77536-2746



**NORTH**

 200 Ft. Buffer

 Parcels

Map Created On: 2/1/2018

