

CITY OF DEER PARK

Variance



LN- 001213 -2026

PERMIT #: LN- 001213 -2026

ISSUED DATE:

PROJECT:

EXPIRATION DATE:

PROJECT ADDRESS: 1937 KINGSDALE DR

OWNER NAME: Mario Ledezma Perez

CONTRACTOR:

ADDRESS: 1937 Kingsdale Dr

ADDRESS:

CITY: DEER PARK

CITY:

STATE: TX

STATE:

ZIP: 77536

ZIP:

PHONE:

PROJECT DETAILS

PROPOSED USE:

SQ FT:

0

DESCRIPTION: Variance Request For 7% Over The Lot Coverage.

VALUATION:

\$0.00

PERMIT FEES

TOTAL FEES: \$250.00

PAID: \$250.00

BALANCE: \$0.00

ALL PERMITS MUST BE POSTED ON THE JOBSITE AND VISIBLE FROM THE STREET

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 1 YEAR AT ANY TIME AFTER WORK IS STARTED. ALL PERMITS ARE SUBJECT TO THE FOLLOWING:

- ALL WORK MUST COMPLY WITH THE BUILDING, ELECTRICAL, PLUMBING, AND MECHANICAL CODES ADOPTED BY THE CITY OF DEER PARK AT THE TIME THE PERMIT IS ISSUED.
- IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO COMPLY WITH ALL STATE & FEDERAL DISABILITY REQUIREMENT
- ENCROACHMENTS OF EASEMENTS AND RIGHT-OF-WAYS ARE NOT ALLOWED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISION LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LA' REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

7.21.26

DATE

REVIEWED FOR CODE COMPLIANCE BY

7.21.26

DATE

TO SCHEDULE NEXT DAY INSPECTIONS CALL BY 4PM 281-478-7270

ALL REINSPECTIONS ARE SUBJECT TO A \$45.00 REINSPECTION FEE

You can request a morning or afternoon inspection and we will do our best to accommodate you but there are no guarantees, it will depend on the volume of inspections scheduled that day.

710 E San Augustine Deer Park, TX 77536 Fax 281-478-0394
www.deerparktx.gov/publicworks

Planning & Zoning Commission
City of Deer Park
Deer Park, Texas

July 20, 2026

RE: Request for Variance – 1937 Kingsdale Drive, Deer Park, TX 77536

Dear Members of the Planning & Zoning Commission,

On behalf of the property owner, I respectfully submit this request for a variance for the property located at 1937 Kingsdale Drive, Deer Park, Texas 77536, legally described as Lot 458, Block 12, South Pasadena & South Pasadena Plaza Subdivision. The property is currently developed as a single-family residence.

Owner Name: Mario Perez

Email Address: deborarreyes@yahoo.com

Applicant Information

Applicant: Nancy Delgado

Mailing Address: 5819 Jim St. Houston, Tx 77092

Phone Number: 832-848-5002

Project Description

The proposed project consists of constructing a 317-square-foot storage room attached to the existing garage. The addition has been designed to complement the existing residence while maintaining the architectural character of the property.

Reason for the Variance Request

Request a 7% exception. 1,300 sq. ft. / 3,548 sq. ft. (backyard) = 37% coverage by buildings, structures, etc., in the rear area.

City Ordinance 16.02.4 Appendix A - ZONING | Code of Ordinances | Deer Park, Texas | Municode Library.

16.02.4 Maximum Rear Yard Coverage. Accesory building shall no cover more than 30 percent of the area of the required rear yard.

Due to the existing configuration of the lot, the location of the existing residence and garage, and the layout of the property, compliance with the required zoning setback is impractical for this improvement.

The requested variance will allow the proposed storage addition to be constructed without negatively affecting neighboring properties, public safety, traffic circulation, drainage, or utilities. The request is the minimum variance necessary to allow a reasonable improvement to the existing residence.

Variance Requested

The applicant respectfully requests a variance from Section _____ of the City of Deer Park Zoning Ordinance to permit a setback of 5 feet where _____ feet is required, resulting in a variance of 5 feet (0 inches).

Supporting Documents

Attached are the following:

Site Plan showing the existing residence and proposed addition.

Dimensions identifying the requested variance.

Any additional documents required by the City.

We respectfully request your favorable consideration and approval of this variance.

Thank you for your time and consideration.

Sincerely,

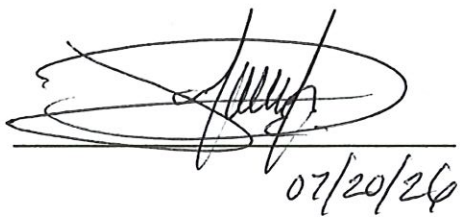
Date.



07.20.26

Mario Perez

Property Owner

A handwritten signature in black ink, consisting of several loops and a long horizontal stroke, is written over a horizontal line. Below the signature, the date "07/20/26" is written in a cursive script.

Prepared by:

Nancy Delgado

NaDel Design

(832) 848-5002 nadeldesign13@gmail.com

RESIDENTIAL SINGLE FAMILY,
LIGHT WOOD FRAME CONSTRUCTION.

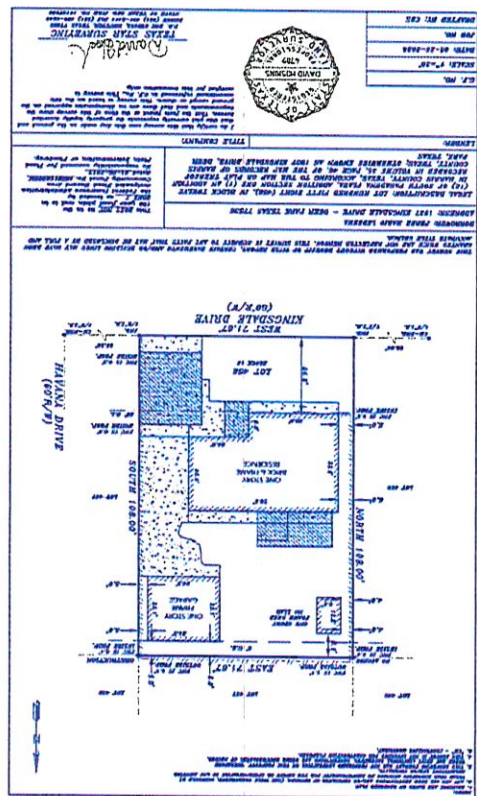
BACK YARD CALCULATE	
GARAGE:	537 SQF
ATTACHED STORAGE:	317 SQF
COVERED PORCH:	104 SQF
COVERED PATIO:	240 SQF
SHED BLDG :	100 SQF
TOTAL:	1,298 SQF
LAND AREA:	7,776 SQF
TOTAL DIVIDED BY LOT AREA:	17%



1	SITE PLAN	SCALE 1/16"=1'-0"
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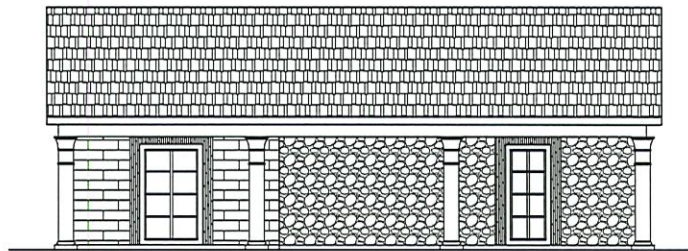
1937 Kingsdale Dr.
Deer Park, TX 77536

NADDEL DESIGN
ARCHITECTURE, INTERIORS & FURNITURE
(832) 848-5002
www.naddel.com



PROPOSED STORAGE ATTACH TO EXISTING GARAGE

1937 KINGSDALE DR,
DEER PARK, TX 77536



LOCATION

CODE INFORMATION

BUILDING CODES: IRC - 2024 Ed.
OCCUPANCY CLASSIFICATION: RESIDENTIAL SINGLE FAMILY,
CONSTRUCTION TYPE: LIGHT WOOD FRAME CONSTRUCTION.

SCOPE OF THE PROJECT:
PROPOSED STORAGE ATTACH TO
EXISTING GARAGE
FAMILY RESIDENCE ONE STORY.

PROPERTY ADDRESS:
1937 KINGSDALE DR, DEER PARK, TX 77536
LEGAL DESCRIPTION: LT 458, BLK 12
SUBDIVISION: SOUTH PASADENA & SOUTH PASADENA
PLAZA
LAND USE: RESIDENTIAL 1 FAMILY.
LAND AREA: 7,776 SQF
EXISTING BUILDING: 1,457 SQF.

NOTE:
DO NOT SCALE-OFF DIRECTLY FROM DRAWING.
CONTRACTOR SHALL VERIFY
AND WORK WITH DIMENSIONS SHOWN.

HAZARDOUS LOCATION

THE FOLLOWING SHALL BE CONSIDERED HAZARDOUS LOCATIONS FOR THE PURPOSE OF GLAZING

1. GLAZING IN SIDE-HINGED DOORS EXCEPT JALOUSIES, EXCEPT JALOUSIES.
2. GLAZING IN FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES AND PANELS IN SLIDING AND BI-FOLD CLOSET DOOR ASSEMBLIES.
3. GLAZING IN STORM DOORS.
4. GLAZING IN ALL UNFRAMED SWINGING DOORS.
5. GLAZING IN DOORS AND ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS AND SHOWERS.
6. GLAZING IN ANY PART OF A BUILDING WALL ENCLOSING THESE COMPARTMENTS WHERE THE BOTTOM EXPOSED EDGE OF THE GLAZING IS LESS THAN 60 INCHES MEASURED VERTICALLY ABOVE ANY STANDING OR WALKING SURFACE.
7. GLAZING, IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES ABOVE THE FLOOR OR WALKING SURFACE. GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 5 AND 6 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

- 7.1 EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET. EXPOSED AREA OF AN INDIVIDUAL PANE GREATER THAN 9 SQUARE FEET.
- 7.2 BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR. BOTTOM EDGE LESS THAN 18 INCHES ABOVE THE FLOOR.
- 7.3 TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR. TOP EDGE GREATER THAN 36 INCHES ABOVE THE FLOOR.
- 7.4 ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE GLAZING.

8. ALL GLAZING IN RAILINGS REGARDLESS OF AN AREA OR HEIGHT ABOVE A WALKING SURFACE, INCLUDED ARE STRUCTURAL BALUSTER PANELS AND NONSTRUCTURAL IN-FILL PANELS.
9. GLAZING IN WALLS AND FENCES ENCLOSING INDOOR AND OUTDOOR SWIMMING POOLS, HOT TUBS AND SPAS WHERE THE BOTTOM EDGE OF THE POOL OR SPA SIDE IS LESS THAN 60 INCHES HORIZONTALLY OF THE WATER'S EDGE, THIS SHALL APPLY TO SINGLE GLAZING AND ALL PANES IN MULTIPLE GLAZING.
10. GLAZING IN WALL ENCLOSING STAIRWAY LANDINGS OR WITHIN 60 INCHES OF THE TOP AND BOTTOM EDGE OF THE GLASSES LESS THAN 60 INCHES ABOVE THE WALKING SURFACE.

EXCEPTIONS

1. OPENINGS IN DOORS THROUGH WHICH A 3-INCH SPHERE IS UNABLE TO PASS.
2. DECORATIVE GLASS IN ITEM 1.5, OR 7. GLAZING IN SECTION R308.4, ITEM 6 WHEN THERE IS AN INTERVENING WALL OR OTHER PERMANENT BARRIER BETWEEN THE DOOR AND THE GLAZING.
3. GLAZING IN ALL UNFRAMED SWINGING DOORS.
4. GLAZING IN SECTION R308.4, ITEM 6, WHERE ACCESS THROUGH THE DOOR IS TO A CLOSET OR A STORAGE AREA 3 FEET OR LESS IN DEPTH.
5. GLAZING IN SECTION R308.4, ITEM 7 WHEN A PROTECTIVE BAR IS INSTALLED ON THE ACCESSIBLE SIDE OF THE GLAZING 36 INCHES ± 2 INCHES ABOVE THE FLOOR. THE BAR SHALL BE CAPABLE OF WITHSTANDING A HORIZONTAL LOAD OF 50 POUNDS PER LINEAR FOOT WITH OUT CONTAINING THE GLASS AND BE A MINIMUM OF 1.5 INCHES IN HEIGHT.
6. OUTBOARD PANES IN INSULATING GLASS UNITS AND OTHER MULTIPLE GLAZED PANELS IN SECTION R308.4, ITEM 7, WHEN THE BOTTOM EDGE OF THE GLASS IS 25 FEET OR MORE ABOVE GRADE, A ROOF, WALKING SURFACE, OR OTHER HORIZONTAL (WITHIN 45 DEGREES OF HORIZONTAL) SURFACE ADJACENT TO THE GLASS EXTERIOR.
7. LOUVERED WINDOWS AND JALOUSIES COMPLYING WITH THE REQUIREMENTS OF SECTION R308.2.
8. MIRRORS AND OTHER GLASS PANELS MOUNTED OR HUNG ON A SURFACE THAT PROVIDES A CONTINUOUS RACKING SUPPORT.

ENERGY CONSERVATION NOTES

TO SHOW ENERGY CONSERVATION COMPLIANCE USING THE R-VALUE COMPUTATION COMPLIANCE METHOD (SECTION R402.1 OF THE 2021 IECC), SPECIFY THE FOLLOWING REQUIRED INSULATION AND FENESTRATION VALUES FOR CLIMATE ZONE 2:

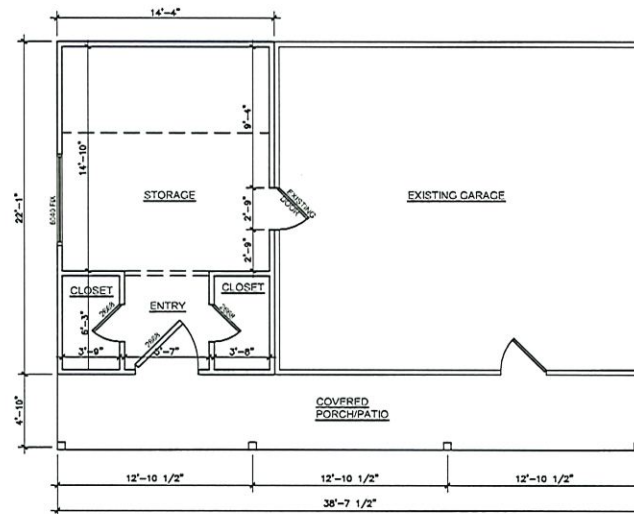
MAXIMUM FENESTRATION U-FACTOR: 0.40 (0.65 FOR SKYLIGHTS*) 0.40 (0.65 FOR SKYLIGHTS*)
MAXIMUM GLAZED FENESTRATION SHGC: 0.25
MINIMUM CEILING R-VALUE: 49
MINIMUM WALL R-VALUE: 13
MINIMUM FLOOR R-VALUE: 13

*SKYLIGHTS MAY BE FROM GLAZED FENESTRATION SHGC REQUIREMENTS IN CLIMATE ZONES 1 THROUGH 3 WHERE THE SHGC FOR SUCH SKYLIGHTS DOES NOT EXCEED 0.30.

THE ATTIC ACCESS STAIRWAY SHALL COMPLY WITH SECTION M 1305.1.3 AS AMENDED: ACCESS SHALL BE PROVIDED WITH A PULL DOWN STAIRWAY WITH A CLEAR OPENING NOT LESS THAN 22X30 INCHES IN WIDTH AND LOAD CAPACITY OF NOT LESS THAN 350 POUNDS, & R807.1 ATTIC ACCESS.

SQUARE FOOTAGE-ONE STORY RESIDENCE

ONE STORY RESIDENCE	
EXISTING LIVING AREA:	1,457 SQF
TOTAL LIVING AREA:	1,457 SQF
GARAGE:	537 SQF
COVERED PORCH:	104 SQF
CAR PORT:	500 SQF
COVERED PATIO:	280 SQF
TOTAL AREA:	1,421 SQF
NEW COVERED PATIO:	193 SQF
ATTACHED STORAGE:	317 SQF
FRONT COVERED PORCH:	240 SQF
TOTAL:	750 SQF

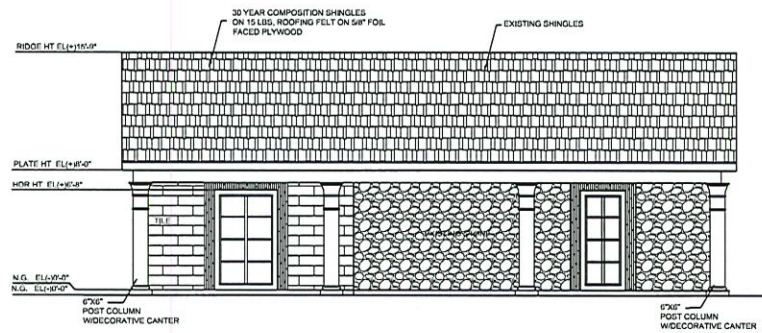


1 FLOOR PLAN

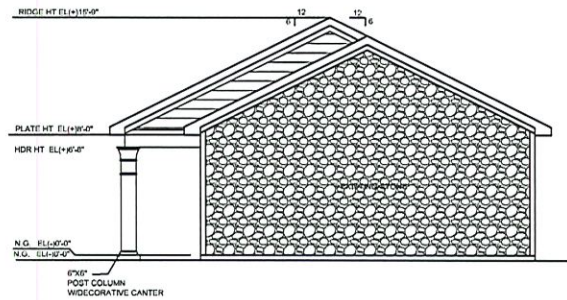
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REVISIONS	
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PROJECT NO:	
DRAWN BY: ND	
CHECKED BY: ND	
SHEET TITLE	
FLOOR PLAN	
1/8"=1'-0"	
DATE OF ISSUE	08.22.23
SHEET NUMBER	



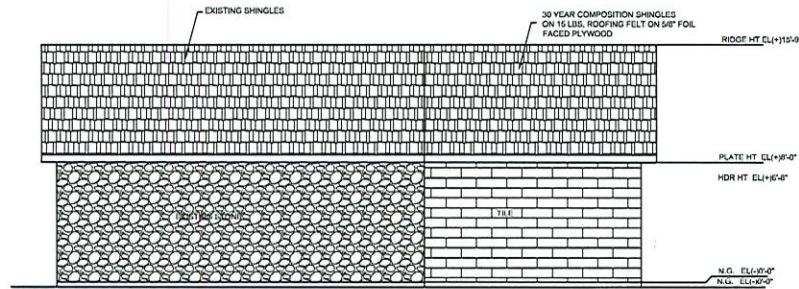
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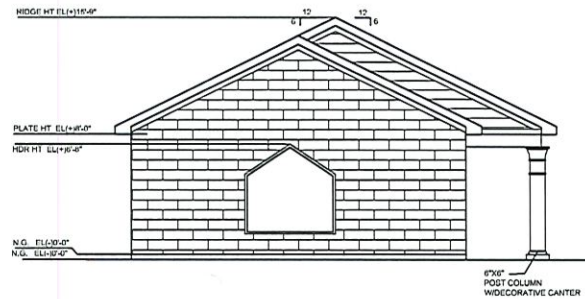
2 RIGHT ELEVATION
SCALE: 1/8"=1'-0"

REVISIONS		
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PROJECT NO:	
DRAWN BY: ND	
CHECKED BY: ND	
SHEET TITLE	
EXTERIOR ELEVATION	
1/8"=1'-0"	
DATE OF ISSUE 06.22.28	
SHEET NUMBER	



1 BACK ELEVATION
SCALE: 1/8"=1'-0"



2 LEFT ELEVATION
SCALE: 1/8"=1'-0"

REVISIONS

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PROJECT NO:

DRAWN BY: ND

CHECKED BY: ND

SHEET TITLE

EXTERIOR ELEVATION

1/8"=1'-0"

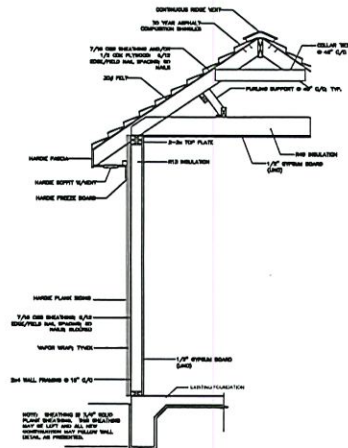
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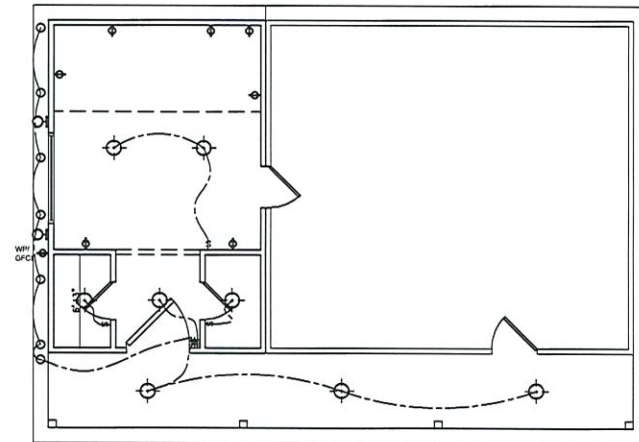
ELECTRICAL NOTES:

1. ALL ELECTRICAL WORKS TO COMPLY WITH THE LATEST EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND APPLICABLE LOCAL AND STATE ORDINANCES.
2. ALL POWER, CONTROL WIRING AND CONDUCTORS TO BE COPPER ONLY. USE TYPE THW OR THWN, 75 DEGREES RATED, 600V COPPER WIRE.
3. ALL SMOKE DETECTORS SHALL BE INTERCONNECTED IN SUCH A MANNER THAT THE ACTIVATION OF ONE ALARM WILL ACTIVATE ALL OF THE ALARMS IN INDIVIDUAL UNIT. ALARMS SHALL BE CLEARLY AUDIBLE IN ALL BEDROOMS OVER BACKGROUND NOISE LEVELS WITH ALL INTERVENING DOORS CLOSED. ALL SMOKE DETECTORS SHALL RECEIVE THEIR PRIMARY POWER FROM THE BUILDING WIRING WHEN SUCH POWER IS INTERRUPTED IT SHALL RECEIVE POWER FROM A BATTERY.
4. HVAC CONTRACTOR SHALL VENT ALL EXHAUST FANS TO OUTSIDE.
5. PROVIDE G.F.C.I. PROTECTION AS REQUIRED.
6. PROVIDE LIGHT FIXTURE AND AT EACH WATER HEATER AND A/C UNIT LOCATION IN ATTIC.
7. PROVIDE ELECTRICAL DISCONNECT AT EACH A/C UNIT.
8. PROVIDE LOW VOLTAGE CIRCUITS FOR BURGLAR ALARM SYSTEM.
9. PROVIDE LOW VOLTAGE CIRCUITS FOR INTERCOM SYSTEM W/ BASE AND SPEAKER LOCATIONS BY OWNER.

	100 W INCANDESCENT PORCELAIN KEYLESS LIGHT FIXTURE
	WALL MOUNTED 100 W INCANDESCENT PORCELAIN KEYLESS LIGHT FIXTURE
	LED LIGHT FIXTURE
	LIGHT FIXTURE
	SINGLE POLE SWITCH
	THREE WAY SWITCH
	FOUR WAY SWITCH
	GFCI RECEPTACLE
	RECEPTACLE
	GFCIWP



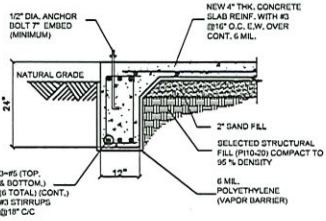
2 EXTERIOR WALL SECTION
SCALE: NTS



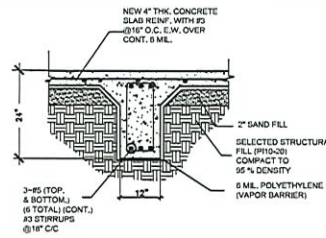
1 ELECTRICAL PLAN
SCALE: 1/8"=1'-0"

REVISIONS		
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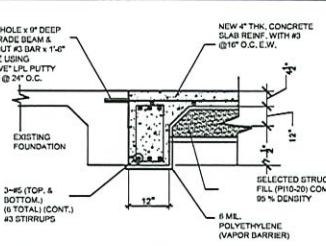
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DRAWN BY: NO	
CHECKED BY: NO	
SHEET TITLE	
ELECTRICAL PLAN	
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DATE OF ISSUE: 08.22.26	
SHEET NUMBER	



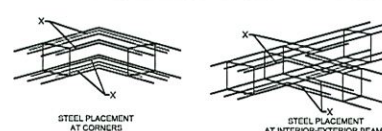
2 FOUNDATION DETAIL
SCALE: 1/8"=1'-0"



3 FOUNDATION DETAIL
SCALE: 1/8"=1'-0"



4 FOUNDATION DETAIL
SCALE: 1/8"=1'-0"



NOTES: CORNER BARS 7\"/>

5 SECTION DETAIL
SCALE: 1/8"=1'-0"

TABLE R401.4.1 OF 2024 IRC PRESUMPTIVE LOAD-BEARING VALUES OF FOUNDATION MATERIALS	
CLASS OF MATERIAL	LOAD-BEARING PRESSURE (KIP/FT ² SQUARE FEET)
CRYSTALLINE BEDROCK	12,000
SEDIMENTARY AND FOLIATED ROCK	4,000
SANDY GRAVEL AND/OR GRAVEL (GW AND GP)	3,000
SAND, SILTY SAND, CLAYEY SAND, SILTY GRAVEL AND CLAYEY GRAVEL (SW, SP, SM, SC, GM AND GC)	2,000
CLAY, SANDY CLAY, SILTY CLAY, CLAYEY SILT, SILT AND SILTY SILT (CL, ML, MH AND CH)	1,000

SOIL CONDITIONS CONTRACTOR TO PLACE A MIN. 12\"/>

SOIL ALLOWABLE LOAD BEARING PRESSURE TAKEN AS 1000 PSF FOR THE PURPOSE OF THIS FOUNDATION DESIGN AS PERMISSIBLE BY TABLE R401.4.1 IRC 2021.

6 TABLE R401.4.1 2024 IRC

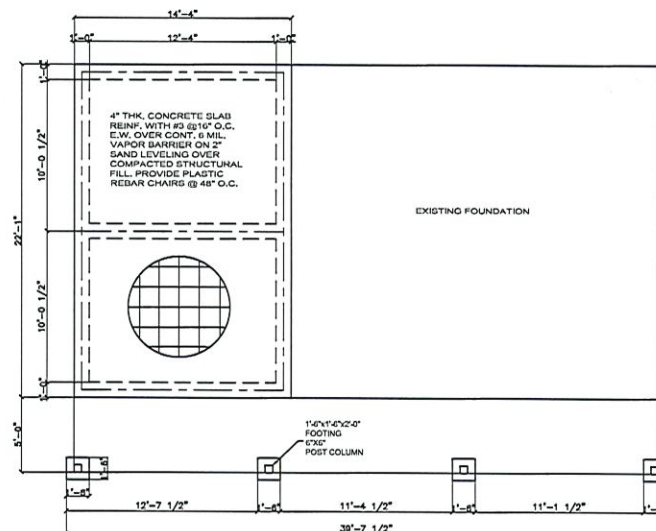
DESIGN: FOUNDATION SHOWN ON THE ACCOMPANYING DRAWING HAS BEEN DESIGNED USING ACCEPTABLE ENGINEERING PRACTICES AND IS IN ACCORDANCE WITH THE CRITERIA FOR SELECTION AND DESIGN FOR RESIDENTIAL SLAB-ON-GRADE. THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND/OR THE DESIGN AND CONSTRUCTION OF POST TENSIONED SLAB-ON-GROUND BY THE POST TENSIONED INSTITUTE.

SITE PREPARATION: 1. FOUNDATION SHOWN ON THE ACCOMPANYING DRAWING HAS BEEN DESIGNED USING ACCEPTABLE ENGINEERING PRACTICES AND IS IN ACCORDANCE WITH THE CRITERIA FOR SELECTION AND DESIGN FOR RESIDENTIAL SLAB-ON-GRADE. THE AMERICAN CONCRETE INSTITUTE BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND/OR THE DESIGN AND CONSTRUCTION OF POST TENSIONED SLAB-ON-GROUND BY THE POST TENSIONED INSTITUTE.

COORDINATION: 11. THE GENERAL CONTRACTOR MUST VERIFY ALL DROPS, OFFSETS, BRICK LEDGES AND BLOCK OUTS ON THE ARCHITECTURAL PLANS AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT MAY EXIST ON THE STRUCTURAL PLANS. THE ENGINEER SHALL NOT BE HELD LIABLE FOR ANY DIMENSIONAL ERRORS ONCE CONSTRUCTION HAS BEGUN.

MATERIALS: 13. CONCRETE IN FOUNDATION BEAMS AND SLABS TO ATTAIN A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS AND AT LEAST 2000 PSI AT TIME OF STRESSING (3 TO 10 DAYS). CONCRETE DESIGN MIX SHALL BE IN ACCORDANCE WITH THE A.C.I. BUILDING CODE REQUIREMENTS (ACI 318-03) TO INSURE QUALITY.

CONSTRUCTION: 17. BEAM AND SLAB DIMENSIONS ARE THE MINIMUM SIZE REQUIRED AND MY NOT BE REDUCED OR ENLARGED WITHOUT PRIOR APPROVAL BY THE ENGINEER.



1 FOUNDATION PLAN
SCALE: 1/8"=1'-0"

IRC 2024 WITH C.O.H. AMENDMENTS DESIGN WIND SPEED: 138 MPH: 3-SECOND GUST

NADEL DESIGN
ARCHITECTURE, INTERIORS & PERMITS
(832) 848-5002
nadel@nadel3g.com

PROPOSED STORAGE
1937 Kingsdale Dr.
Dover Park, TX 77556

REVISIONS	
1	
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3	

PROJECT NO:
DRAWN BY: ND
CHECKED BY: ND
SHEET TITLE
FOUNDATION PLAN
1/8"=1'-0"
DATE OF ISSUE: 06.22.26
SHEET NUMBER

S.01

GENERAL FRAMING NOTES (TO BE USED UNLESS OTHERWISE NOTED ON PLAN)

- ALL BEAM AND HEADEN MATERIAL SHALL BE NO. 2 DYP. ALL FLOOR JOIST MATERIAL SHALL BE NO. 2 SD 19 DYP. ALL RAFTER A CEILING JOIST MATERIAL SHALL BE NO. 2 SD 19. UNLESS OTHERWISE NOTED. (U.N.O.)
- ALL WALL STUDS ARE NO. 2 STUD GRADE DYP. @ 16" O.C. BLOCKING AT MID SPANS GREATER THAN 16". ALL STUD WALLS SHALL BE DIAGONALLY BRACED WITH 1/4" LET-IN AT EACH END AT 25" MAX. SPACING BETWEEN WALL ENDS.
- ALL STEEL SHALL CONFORM TO ASTM-A36 STEEL. STEEL COLUMNS SHALL HAVE MIN. 1/2" CAP AND BASE PLATES WITH MIN. 2-60 AND ANCHORAGE BOLTS EMBED MIN. 4-12 INTO SOLID CONCRETE. THE STEEL ANGLE Lintel SCHEDULE (TO SUPPORT BRICK) IS AS FOLLOWS (FORM DIMS) TO MATCH ARCHES WHERE NECESSARY.

MAXIMUM SPAN:	MINIMUM SIZE	MINIMUM BEARING
5'-0"	13x3-12"x6-10"	8"
7'-0"	14x3-12"x6-10"	8"
8'-0"	15x3-12"x6-10"	8"
9'-0"	15x3-12"x6-10"	9"
10'-0"	15x3-12"x6-10"	10"

- ROOF FRAMING:
THE MAXIMUM UNSUPPORTED SPAN FOR 2x6 AT 16" O.C. RAFTERS SHALL BE 14'-0". RAFTERS ARE TO BE SUPPORTED BY CONTINUOUS 2x6 PURLINS WITH 2x4 BRACES AT 48" O.C. MAXIMUM ANGLE FOR 2x4 BRACED-45° FROM VERTICAL. MAXIMUM UNSUPPORTED LENGTH FOR 2x4 BRACES = 8' (IF A 2x4 TO BRACE WHEN LENGTH EXCEEDS 8'-0"). ALL ROOF BRACING TO BE SUPPORTED BY A WALL, 2x4 STRONGBACK SUPPORTED BY JOIST OR 2x4-12, DEPENDING ON CEILING JOIST DIRECTION. PROVIDE BLOCKING AT BRACE LOCATIONS UNLESS OTHERWISE NOTED. PROVIDE 2x6 COLLAR TIES 48" O.C. IN THE UPPER THIRD OF THE RAFTERS, UNLESS OTHERWISE NOTED. RIDGE, HIP AND VALLEY MEMBERS SHALL BE ONE SIZE LARGER THAN THE RAFTERS FOR SLOPES UP TO 10 ON 12; SLOPES GREATER THAN 10 ON 12 SHALL BE TWO SIZES LARGER (U.N.O.) PROVIDE SIMPSON H-2.5 HOLD DOWNS FOR RAFTERS TO TOP PLATE. STRAPPING MUST BE USED WITH PERIMETER POINT WALLS TO STUDS BELOW. ALL PERIMETER POINT WALLS TO THE ROOF MUST BE BRACED AT TOP TO THE CEILING JOIST OR BLOCKING WITH 2x4'S AT 12" ON CENTER WITH 10-120 NAILS EACH END.

- LIVE LOADS: ROOF: 20 PSF ATTIC: 30 PSF FLOOR: 40 PSF INT. WALLS: 8 PSF EXT. WALLS: 8 PSF. DEAD LOADS: 10 PSF 10 PSF 10 PSF 80 PSF. WIND: 141 MPH, (3 SEC. GUST)

- ROOF DECKING SHALL BE 1/2" EXPOSURE 1 (CDX) PLYWOOD OR WAFER BOARD APARATED SHEATHING (CDX) RUN PERPENDICULAR TO THE RAFTERS AND NAILED WITH 8D NAILS 16" ON SUPPORTED EDGES AND 12" ON CENTER IN THE FIELD.
- FLOOR DECKING SHALL BE 3/4" OR 1-1/8" APA STURD-FLOOR PLYWOOD OR 2x6 TAG INSTALLED DIAGONALLY.
- STEEL FLITCH BEAMS SHALL BE CONSTRUCTED WITH TWO ROWS OF 1/2" O.C. BOLTS SPACED AT 12" O.C. AND STAGGERED TOP AND BOTTOM PROVIDE (2) BOLTS AT EACH END OF BEAM AND AT BEAM LOCATIONS. HOLES SHALL BE 9/16" AND DRILLED. STEEL EDGE CLEARANCE SHALL BE 1-1/2" MINIMUM FOR ALL BOLTS. WHEN ONE FLITCH BEAM IS FRAMED INTO ANOTHER, THE BEAM SHALL BE SUPPORTED BY A SIMPSON ECG HANGER. WOOD EDGE CLEARANCE SHALL BE 2-1/2" MINIMUM FOR ALL BOLTS. WOOD SHALL BE #2 KD 19 AND BOTH STEEL AND WOOD SHALL BE CONTINUOUS.
- DOUBLE SECOND FLOOR JOIST UNDER PARTITION WALLS ABOVE, UNLESS OTHERWISE NOTED.
- ALL JOISTS FRAMING TO BEAMS SHALL BE SUPPORTED BY SIMPSON U JOIST METAL HANGERS (U.O.N.) ALL WOOD BEAMS SHALL BE SUPPORTED BY SIMPSON DING METAL HANGERS (D.O.N.) PROVIDE 2x12 BLOCKING ON BRIDGING FOR ALL FLOOR JOISTS SPANS GREATER THAN 8'-0".
- ALL BEAM FRAMING TO WALLS TO BE SUPPORTED BY A MINIMUM OF 2x4 OR 2x6 STUDS, UNLESS OTHERWISE NOTED.
- HEADER SCHEDULE AS FOLLOWS (USE 2x12'S WITH 1/2" PLYWOOD, UNLESS OTHERWISE NOTED FOR FIRST FLOOR HEADERS).

SIZE	MAXIMUM SPAN
2x6	4'-6"
2x8	6'-0"
2x10	7'-0"
2x12	9'-0"

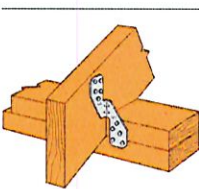
- ALL HEADERS ARE TO HAVE NO SPLITS, CHECKS OR SHAKES.

- ANCHOR BOLTS MINIMUM 1/2" DIAM. x 12" LONG AT 4'-0" CENTERS, MINIMUM TWO PER PLATE.
- MULTIPLE STUDS SHALL BE GLUED AND NAILED WITH 16D NAILS 24" O.C. MULTIPLE JOIST SHALL BE GLUED AND NAILED WITH 3-16D NAILS 12" O.C. THERE SHALL BE NO SPLICES.
- STUD WALLS HIGHER THAN 10'-0" SHALL HAVE 2x6 (2) 2x4 OR 4x4 STUDS 16" O.C. WALLS SUPPORTING TWO FLOORS ABOVE SHALL BE 2x6, 2x4 OR 4x4 STUDS 16" O.C.
- MICROCLAMS TO BE INSTALLED PER TRUSS JOIST CORPORATION'S RESIDENTIAL PRODUCTS REFERENCE GUIDE. PARALLAMS ARE TO BE INSTALLED PER "PARALLAMS" PLS. INSTALLATION GUIDE. GULLAMS TO HAVE FB-3000 PLS. TJS TO BE INSTALLED PER TRUSS JOIST CORPORATION'S BUILDERS GUIDE TO THE SILENT FLOOR SYSTEM OR ABOVE. PLS'S AND LVS ARE TO BE INSTALLED PER ALPINE STRUCTURES ENGINEERED WOOD PRODUCTS. TJS ARE TO BE GLUED TO THE FLOOR.
- FOR THE EXTERIOR WALLS USE 1/2" O.C. 12" x 4" APA RATED PLYWOOD OR WAFERBOARD WIND COMMON OR GALVANIZED 30X NAILS @ 6" O.C. AT ALL EDGES (BLOCKING IS REQUIRED) AND 12" O.C. AT FIELD FOR THE SECOND FLOOR, AND @ 3" O.C. AT ALL EDGES AND TOP AND BOTTOM PLATES (BLOCKING IS REQUIRED) AND 12" O.C. AT FIELD FOR THE FIRST FLOOR. DISCARDERS ARE TO EXTEND TO UNDERSIDE OF FLOOR AND BE NAILED PER ABOVE TO ALL PLATES. FOR THE INTERIOR PARTITION WALLS USE GYPSUM BOARD (SHEATHING 1/2" THICK BY 4 FEET WIDE, WALLBOARD OR VENEER BASE) ON STUDS NAILED AT 7" ON CENTER WITH 5D COOLER OR PARKER NAILS. ALL INTERIOR WALLS THAT HAVE PLYWOOD ARE TO HAVE THE BOTTOM PLATE ATTACHED TO THE FOUNDATION WITH 1/2" DIAM. x 2-1/4" EMBEDMENT HELIX BOLT 11 AT 35" ON CENTER MAX. ALL WALLS THAT HAVE PLYWOOD ON BOTH SIDES ARE TO HAVE A SIMPSON HSB TO DOUBLE STUDS AT THE ENDS OF THE PLYWOOD AND BE DOUBLE BLOCKED AND DOUBLE STUDDED.
- THE NUMBER AND SIZE OF NAILS USED TO CONNECT WOOD MEMBERS SHALL BE ACCORDING TO TABLE RB23(1) OF THE 2015 IRC (U.N.O.) MULTIPLE STUDS SHALL BE GLUED AND NAILED WITH 16D NAILS 24" O.C. MULTIPLE JOIST SHALL BE GLUED AND NAILED WITH 3-16D NAILS 12" O.C. THERE SHALL BE NO SPLICES.
- CONTRACTOR / OWNER SHALL VERIFY FIELD DIMENSIONS AND DETAILS. NOTIFY THE PROJECT ARCHITECT / ENGINEER OF DISCREPANCY AND REVIEW FOR RECOMMENDATION OR REVISIONS IF NECESSARY. ALL CONSTRUCTION PROCEDURES SHALL CONFORM TO LOCAL CODES AND OSMA GUIDELINES.
- ALL HANDRAILS AND GUARDRAILS SHALL WITHSTAND A TOTAL LIVE LOAD OF 250 PSF, AS PER TABLE R301.14 OF THE 2015 IRC.
- STRUCTURES SHALL BE DESIGNED FOR WIND LOADS OF 141 MPH (3 SEC GUST) WIND SPEED AS REQUIRED PER 2015 IRC.
- CONTRACTOR IS RESPONSIBLE FOR PROPERLY ANCHORING ANY CANTILEVERED BEAMS TO ITS SUPPORT TO PREVENT UPLIFT AND/OR DEFLECTION.
- ANY & ALL PRE-ENGINEERED TRUSSES SPECIFIED ON THE FRAMING PLAN MUST BE SIZED AS PER LOAD SPECIFIED ON FRAMING PLANS AND APPROVED BY THE TRUSS MANUFACTURER. SPACING OF TRUSSES MAY BE INCREASED IF APPROVED BY THE TRUSS MANUFACTURER.

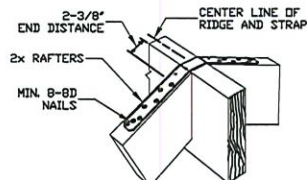
RAY WINDOW FRAMING

- WINDOW HEADERS: 2x6 DYP #2
- CEILING JOISTS: 2x6 DYP #2 @ 16" O.C.
- ROOF RAFTERS: 2x6 DYP #2 @ 16" O.C.
- LEADER BOARD FOR ROOF RAFTERS: 2x6 DYP #2, ATTACHED TO STUDS W/ 4" TIMBERLOKS

IRC 2024 WITH C.O.H. AMENDMENTS
DESIGN WIND SPEED: 138 MPH;
3-SECOND GUST

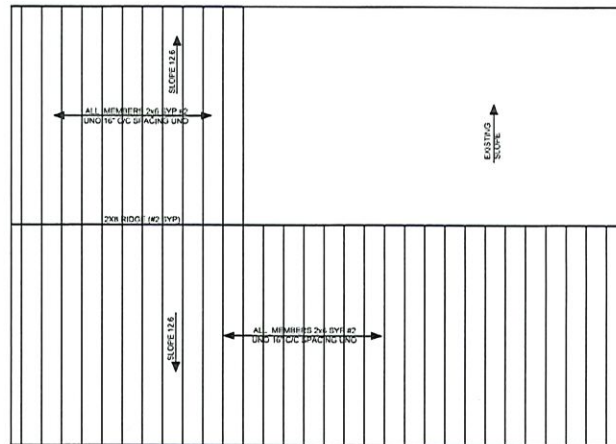


RAFTER TO BEAM
SCALE: NONE

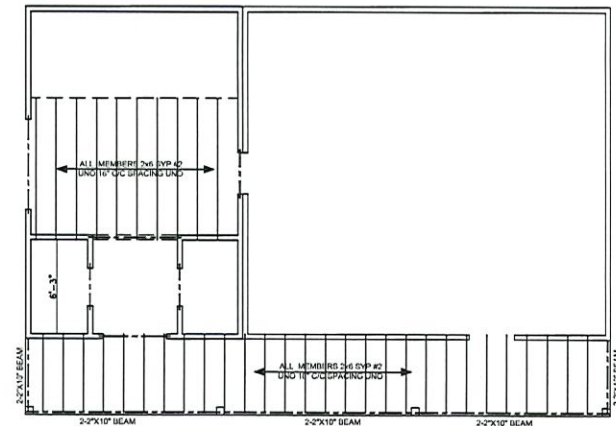


RIDGE STRAP
SCALE: NONE

- 2x6 RIDGE 2x6 RAFTERS AT 16" O.C. #2 GRADE DYP.
- STRUTS, COLLAR TIES, PURLINS AND STRONG BACK TO BE INSTALLED IN COMPLIANCE WITH LOCAL CODE.
- HURRICANE STRAPS & CLIPS TO BE INSTALLED IN COMPLIANCE WITH LOCAL CODE.
- UNSUPPORTED RAFTER SPAN FOR 2x6 AT 16" O.C. 14'-0" (COMPOSITION SHINGLES ROOFING)
- BRACE KIDGES AND PURLINS TO BEAM ON WALLS BELOW.
- ROOF SHEATHING SHALL BE 7/16 OSB OR 1/2 CDX PLYWOOD
- NAILING: 6-12 INCH EDGE/FIELD C/C WITH 8D NAILS



2 RAFTER PLAN
SCALE: 1/8"=1'-0"



1 CEILING JOIST PLAN
SCALE: 1/8"=1'-0"

REVISIONS	
1	
2	
3	
4	

PROJECT NO:	
DRAWN BY: NO	
CHECKED BY: NO	
SHEET TITLE	CEILING JOIST & RAFTER PLAN
DATE OF ISSUE	06.22.28
SHEET NUMBER	

PROPOSED STORAGE
1937 Kingsdale Dr.
Deer Park, TX 77556

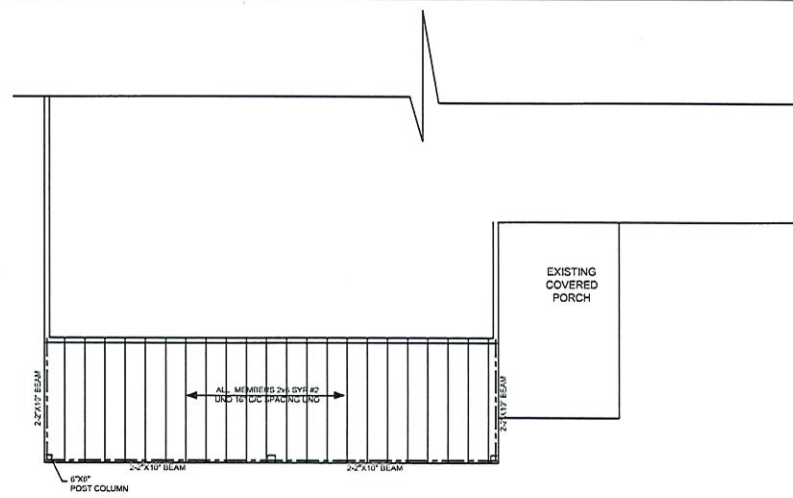
REVISIONS	
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PROJECT NO:	
DRAWN BY: ND	
CHECKED BY: ND	
SHEET TITLE	
STRUCTURAL PLAN FRONT PORCH	
1/8"=1'-0"	
DATE OF ISSUE	06.22.23
SHEET NUMBER	

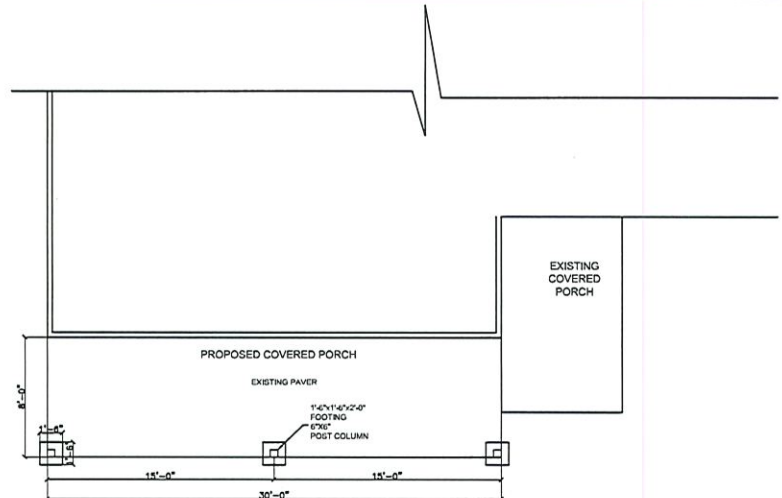
S.03

IRC 2024 WITH C.O.H.
AMENDMENTS
DESIGN WIND SPEED: 138 MPH;
3-SECOND GUST

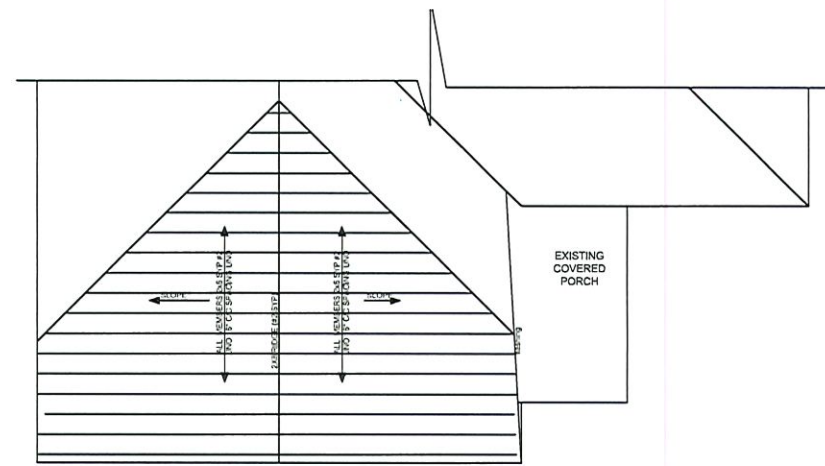
2 CEILING JOIST PLAN
SCALE: 1/8"=1'-0"

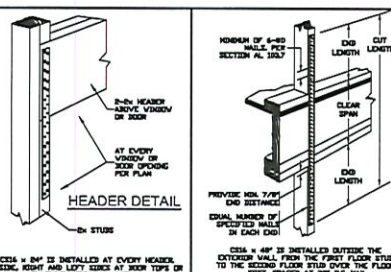


1 FLOOR PLAN
SCALE: 1/8"=1'-0"



3 RAFTER PLAN
SCALE: 1/8"=1'-0"



[illegible]

3. ANCHOR BOLT NOTES

5	PSC
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 PLYWOOD SHEATHING CLIP- SIMPSON PSCL	 SIMPSON NIP
5 PSCL	4 NIP

ALL POST/COLUMNS REQUIRE ANCHORAGE. USE POST BASE & CAP TYPE AND LOCATIONS PER PLAN. IF NOT LISTED ON PLAN, USE TYPE BOLDS MATCHED POST/COLUMN SIZE AS FURNISH OR CONTINGUOUS TO IT.
IF NONE OF THE STRAPS BELOW MATCH YOUR POST/COLUMN SIZE:

AC4 6x6 POSTS
INSTALL TO CONNECT POST TO BEAM

LOC4 6x6 OR 6x6 POSTS
INSTALL TO CONNECT POST TO BEAM

POST TO BEAM CONNECTIONS

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1999, 2000, 2001, 2002, 2003, 2004, 2005, 2006, 2007, 2008, 2009, 2010, 2011, 2012, 2013, 2014, 2015, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023, 2024, 2025, 2026, 2027, 2028, 2029, 2030, 2031, 2032, 2033, 2034, 2035, 2036, 2037, 2038, 2039, 2040, 2041, 2042, 2043, 2044, 2045, 2046, 2047, 2048, 2049, 2050, 2051, 2052, 2053, 2054, 2055, 2056, 2057, 2058, 2059, 2060, 2061, 2062, 2063, 2064, 2065, 2066, 2067, 2068, 2069, 2070, 2071, 2072, 2073, 2074, 2075, 2076, 2077, 2078, 2079, 2080, 2081, 2082, 2083, 2084, 2085, 2086, 2087, 2088, 2089, 2090, 2091, 2092, 2093, 2094, 2095, 2096, 2097, 2098, 2099, 2100, 2101, 2102, 2103, 2104, 2105, 2106, 2107, 2108, 2109, 2110, 2111, 2112, 2113, 2114, 2115, 2116, 2117, 2118, 2119, 2120, 2121, 2122, 2123, 2124, 2125, 2126, 2127, 2128, 2129, 2130, 2131, 2132, 2133, 2134, 2135, 2136, 2137, 2138, 2139, 2140, 2141, 2142, 2143, 2144, 2145, 2146, 2147, 2148, 2149, 2150, 2151, 2152, 2153, 2154, 2155, 2156, 2157, 2158, 2159, 2160, 2161, 2162, 2163, 2164, 2165, 2166, 2167, 2168, 2169, 2170, 2171, 2172, 2173, 2174, 2175, 2176, 2177, 2178, 2179, 2180, 2181, 2182, 2183, 2184, 2185, 2186, 2187, 2188, 2189, 2190, 2191, 2192, 2193, 2194, 2195, 2196, 2197, 2198, 2199, 2200, 2201, 2202, 2203, 2204, 2205, 2206, 2207, 2208, 2209, 2210, 2211, 2212, 2213, 2214, 2215, 2216, 2217, 2218, 2219, 2220, 2221, 2222, 2223, 2224, 2225, 2226, 2227, 2228, 2229, 2230, 2231, 2232, 2233, 2234, 2235, 2236, 2237, 2238, 2239, 2240, 2241, 2242, 2243, 2244, 2245, 2246, 2247, 2248, 2249, 2250, 2251, 2252, 2253, 2254, 2255, 2256, 2257, 2258, 2259, 2260, 2261, 2262, 2263, 2264, 2265, 2266, 2267, 2268, 2269, 2270, 2271, 2272, 2273, 2274, 2275, 2276, 2277, 2278, 2279, 2280, 2281, 2282, 2283, 2284, 2285, 2286, 2287, 2288, 2289, 2290, 2291, 2292, 2293, 2294, 2295, 2296, 2297, 2298, 2299, 2300, 2301, 2302, 2303, 2304, 2305, 2306, 2307, 2308, 2309, 2310, 2311, 2312, 2313, 2314, 2315, 2316, 2317, 2318, 2319, 2320, 2321, 2322, 2323, 2324, 2325, 2326, 2327, 2328, 2329, 2330, 2331, 2332, 2333, 2334, 2335, 2336, 2337, 2338, 2339, 2340, 2341, 2342, 2343, 2344, 2345, 2346, 2347, 2348, 2349, 2350, 2351, 2352, 2353, 2354, 2355, 2356, 2357, 2358, 2359, 2360, 2361, 2362, 2363, 2364, 2365, 2366, 2367, 2368, 2369, 2370, 2371, 2372, 2373, 2374, 2375, 2376, 2377, 2378, 2379, 2380, 2381, 2382, 2383, 2384, 2385, 2386, 2387, 2388, 2389, 2390, 2391, 2392, 2393, 2394, 2395, 2396, 2397, 2398, 2399, 2400, 2401, 2402, 2403, 2404, 2405, 2406, 2407, 2408, 2409, 2410, 2411, 2412, 2413, 2414, 2415, 2416, 2417, 2418, 2419, 2420, 2421, 2422, 2423, 2424, 2425, 2426, 2427, 2428, 2429, 2430, 2431, 2432, 2433, 2434, 2435, 2436, 2437, 2438, 2439, 2440, 2441, 2442, 2443, 2444, 2445, 2446, 2447, 2448, 2449, 2450, 2451, 2452, 2453, 2454, 2455, 2456, 2457, 2458, 2459, 2460, 2461, 2462, 2463, 2464, 2465, 2466, 2467, 2468, 2469, 2470, 2471, 2472, 2473, 2474, 2475, 2476, 2477, 2478, 2479, 2480, 2481, 2482, 2483, 2484, 2485, 2486, 2487, 2488, 2489, 2490, 2491, 2492, 2493, 2494, 2495, 2496, 2497, 2498, 2499, 2500, 2501, 2502, 2503, 2504, 2505, 2506, 2507, 2508, 2509, 2510, 2511, 2512, 2513, 2514, 2515, 2516, 2517, 2518, 2519, 2520, 2521, 2522, 2523, 2524, 2525, 2526, 2527, 2528, 2529, 2530, 2531, 2532, 2533, 2534, 2535, 2536, 2537, 2538, 2539, 2540, 2541, 2542, 2543, 2544, 2545, 2546, 2547, 2548, 2549, 2550, 2551, 2552, 2553, 2554, 2555, 2556, 2557, 2558, 2559, 2560, 2561, 2562, 2563, 2564, 2565, 2566, 2567, 2568, 2569, 2570, 2571, 2572, 2573, 2574, 2575, 2576, 2577, 2578, 2579, 2580, 2581, 2582, 2583, 2584, 2585, 2586, 2587, 2588, 2589, 2590, 2591, 2592, 2593, 2594, 2595, 2596, 2597, 2598, 2599, 2600, 2601, 2602, 2603, 2604, 2605, 2606, 2607, 2608, 2609, 2610, 2611, 2612, 2613, 2614, 2615, 2616, 2617, 2618, 2619, 2620, 2621, 2622, 2623, 2624, 2625, 2626, 2627, 2628, 2629, 2630, 2631, 2632, 2633, 2634, 2635, 2636, 2637, 2638, 2639, 2640, 2641, 2642, 2643, 2644, 2645, 2646, 2647, 2648, 2649, 2650, 2651, 2652, 2653, 2654, 2655, 2656, 2657, 2658, 2659, 2660, 2661, 2662, 2663, 2664, 2665, 2666, 2667, 2668, 2669, 2670, 2671, 2672, 2673, 2674, 2675, 2676, 2677, 2678, 2679, 2680, 26

[illegible]

BASES (POST POUR

BASES (POST POUR EMBEDDED)

CEMENT GROUT POINT
 CHISEL GRANT POINTS INSTALLED TO ANCHOR POST TO FOUNDATION. MUST SET BEFORE FOUNDATION IS POUR

WOOD POST BASE ANCHOR TYPES

1. USUAL, LARGE COLLARS (END OF FIBERS) TO USE CAST-IN-PLACE CONCRETE TYPE
2. COLLARS LESS ON GIL
3. 1/4" - 1/2" (END OF FIBERS) AND SMALL END OF (3/4" POST) COLLARS CAN USE POST FOR ANCHORS FOR BASE TYPES AND USE OF CONCRETE
4. USE ANCHOR TYPE (A) FOR WEATHER-PROTECTED LOCATIONS, ANCHOR TYPE (B) FOR OUTDOOR
5. ALL POST-POUR ANCHORS INSTALLED 7-8 DAYS AFTER POUR, WITH A 2" MINIMUM EDGE CONCRETE COVER

6 COLUMN BASE AND CAPS

6 COLUMN BASE AND CAP

[illegible]

1 FASTENED SCHEDULE FOR STRUCTURAL MEMBERS

[illegible]

7. ACCEPTABLE FRAMING NAIL S

WOOD SHALL BE OF GALVANNEED STEEL, STAINLESS STEEL, SILICON BRONZE OR COPPER. ALL JOINTS MUST BE STAINLESS STEEL AND GALVANNEED CONNECTORS. COLD (26 PCF) & C&H (0.16 PCF) ARE MORE CORROSIVE THAN CCA-C (0.27 PCF).

A. THE FOLLOWING IS THE MINIMUM FASTENER/CONNECTOR SPECIFICATION FOR ALL PROJECTS:

- GALVANNEED STEEL IS 304 OR 316
- SING GALVANNEED IS 0.150 (1/8") OR ASTM A513 (3/8") OR BETTER. (TYPICAL IS SIMPSON 2-MAX OR E.)
- SILICONE BRONZE MEETING ANSIBRASS B18.5.
- COPPER COATED FASTENERS APPROVED BY THE ENGINEER.

10. *Journal of the American Medical Association*, 2000; 283: 2686-2692.

2	FRAMING & SHEATHING GENERAL NOTES
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