

CITY OF DEER PARK

Specific Use Permit



LN- 000706 -2026

PERMIT #: LN- 000706 -2026

ISSUED DATE:

PROJECT:

EXPIRATION DATE:

PROJECT ADDRESS: 2851 E P ST

OWNER NAME: 2801 P Street LLC

CONTRACTOR: Truckman Transport

ADDRESS: Po Box 32

ADDRESS: 2851 E P St

CITY: Rockdale

CITY: Deer Park

STATE: TX

STATE: TX

ZIP: 76567-

ZIP: 77536

PHONE:

PROJECT DETAILS

PROPOSED USE:

DESCRIPTION: Truck Yard And Laydown Yard.

SQ FT:

0

VALUATION:

\$0.00

PAID

APR 27 2026

PERMIT FEES

TOTAL FEES: \$1,000.00

PAID: \$1,000.00

BALANCE: \$0.00

ALL PERMITS MUST BE POSTED ON THE JOBSITE AND VISIBLE FROM THE STREET

NOTICE

THIS PERMIT BECOMES NULL AND VOID IF WORK OR CONSTRUCTION AUTHORIZED IS NOT COMMENCED WITHIN 6 MONTHS, OR IF CONSTRUCTION OR WORK IS SUSPENDED OR ABANDONED FOR A PERIOD OF 1 YEAR AT ANY TIME AFTER WORK IS STARTED. ALL PERMITS ARE SUBJECT TO THE FOLLOWING:

- ALL WORK MUST COMPLY WITH THE BUILDING, ELECTRICAL, PLUMBING, AND MECHANICAL CODES ADOPTED BY THE CITY OF DEER PARK AT THE TIME THE PERMIT IS ISSUED.
- IT IS THE RESPONSIBILITY OF THE OWNER/CONTRACTOR TO COMPLY WITH ALL STATE & FEDERAL DISABILITY REQUIREMENTS.
- ENCROACHMENTS OF EASEMENTS AND RIGHT-OF-WAYS ARE NOT ALLOWED.

I HEREBY CERTIFY THAT I HAVE READ AND EXAMINED THIS DOCUMENT AND KNOW THE SAME TO BE TRUE AND CORRECT. ALL PROVISIONS OF LAWS AND ORDINANCES GOVERNING THIS TYPE OF WORK WILL BE COMPLIED WITH WHETHER SPECIFIED HEREIN OR NOT. GRANTING OF PERMIT DOES NOT PRESUME TO GIVE AUTHORITY TO VIOLATE OR CANCEL THE PROVISION OF ANY OTHER STATE OR LOCAL LAWS REGULATING CONSTRUCTION OR THE PERFORMANCE OF CONSTRUCTION.

SIGNATURE OF CONTRACTOR OR AUTHORIZED AGENT

DATE

May Maly

4.27.26

REVIEWED FOR CODE COMPLIANCE BY

DATE

TO SCHEDULE NEXT DAY INSPECTIONS CALL BY 4PM 281-478-7270

ALL REINSPECTIONS ARE SUBJECT TO A \$45.00 REINSPECTION FEE

You can request a morning or afternoon inspection and we will do our best to accommodate you but there are no guarantees, it will depend on the volume of inspections scheduled that day.

710 E San Augustine Deer Park, TX 77536 Fax 281-478-0394

www.deerparktx.gov/publicworks

2801 P Street LLC
2851 E P Street
Deer Park, Tx 77536

April 30, 2026

Deer Park City Council
710 E. San Augustine Street
Deer Park, Texas 77536

Attn: Planning and Development

Re: 2851 E. P Street Specific Use Permit Application

2801 P Street LLC is requesting a Specific Use Permit (SUP) for the proposed improvement at 2851 E. P Street Deer Park TX as required by article 8.02.1. The proposed improvement will be for use as a truck yard and laydown yard (use group 34) as allowed under the current zoning (Industrial Park (M1)) of the property. This use group and zoning requires a SUP for these allowed activities which will enable the owner to operate his business. The property is bordered only by the same industrial park zoning being used in ways similar to that proposed under this permit application. The West boundary is a drainage improvement (Tributary 1.78 To Willow Springs Bayou).

Improvements and operation of the property will follow article 12.01.34 requirements for any principal and permitted uses in the use group including dust control, fencing, and placement of equipment and materials. There will be no hazardous or combustible materials and no use of shipping containers in the proposed improvements. All other codes and ordinances related to the construction permitting and operation of the improvements will be followed. Included on the site will be drainage improvements to manage stormwater runoff and a small office building.

This SUP is critical to allow the business of the property owner to operate under the principal uses permitted for Group 34 in zoning M1.

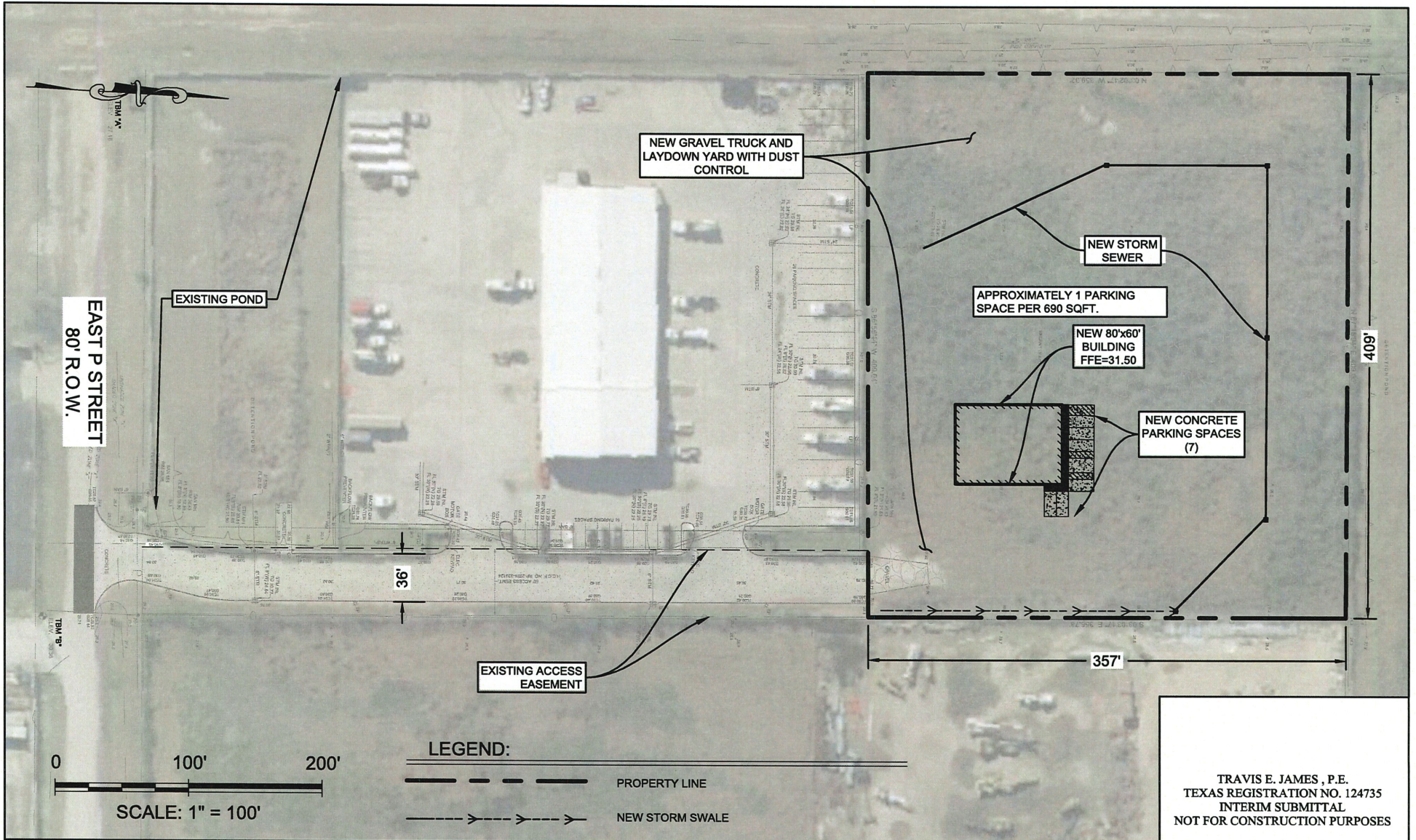
Sincerely,

Signed by:

E75F9EBDF39C419...

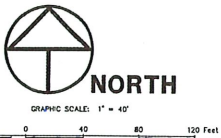
Name: Refoel Y. Newhouse

Title: Manager



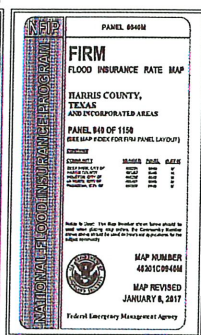
TRAVIS E. JAMES, P.E.
TEXAS REGISTRATION NO. 124735
INTERIM SUBMITTAL
NOT FOR CONSTRUCTION PURPOSES

A	SPECIAL USE PERMIT APPLICATION	04/27/2026	TRUCKMAN SITE DEVELOPMENT 2851 EAST P STREET, DEER PARK TEXAS, 77536
REV	DESCRIPTION	DATE	
 H2B, INC. Texas Firm Registration No. 8856 1225 N Loop W, Suite 800 HOUSTON, TX 77008 713.864.2900			SITE PLAN - SPECIAL USE PERMIT DESIGNED BY: TEJ DRAWN BY: SH
			SCALE: AS SHOWN SHEET No. OF SHEETS



TEMPORARY BENCHMARK "B" ELEVATION - 30.36'
A BOX CUT ON A CONCRETE HEADWALL LOCATED ON THE SOUTHERLY SIDE OF EAST P STREET 1000' +/- WEST OF THE CENTERLINE INTERSECTION OF UNDERWOOD ROAD AND EAST P STREET.

- [illegible]

[illegible]

3.362 ACRES
146,449 SQ. FT.
CALLED 3.3620 AC.
2801 P STREET LLC
H.C.C.F. NO. RP-2024-33912

OUTLOT 554
OUTLOTS TO THE
TOWN OF LAFORTE
Vol. 1, PG 32, H.C.M.P.

RESIDUE OF
CALLED 8.449 AC.
7-D INVESTMENT, LP
H.C.C.F. NO. RP-2016-576715

CALLED 5.000 AC.
 DASHILL, LLC
 H.C.C.F. NO. 20110374854

OUTLOT 589
OUTLOTS TO THE
TOWN OF LAPORE
VOL. 1, PG. 38, N.C.M.R.

⊗ TBM "A"
23.18

SURVEYOR'S CERTIFICATION

I DO HEREBY CERTIFY TO THE ABOVE LISTED THAT THIS SURVEY WAS THIS DAY MADE ON THE GROUND AND WAS PERFORMED UNDER MY SUPERVISION THAT THIS PLAN CORRECTLY REPRESENTS THE PROPERTY LEGALLY DESCRIBED HEREON, THAT THE FACTS FOUND AT THE TIME OF THIS SURVEY SHOW THE IMPROVEMENTS AND THAT THE SURVEY IS ACCURATE AND SUFFICIENTLY PREPARED FOR RECORD ON THE GROUND, EXCEPT AS NOTED HEREON. I AM A LICENSED SURVEYOR OF THE CURRENT TEXAS SOCIETY OF PROFESSIONAL SURVEYORS STANDARDS AND SPECIFICATIONS FOR A CATEGORY B, CONDITION 1 SURVEY, TO THE BEST OF MY KNOWLEDGE.

MATTHEW CARPENTER
Professional Registration No. 80690
DATE

REVISIONS	
DATE	REASON



WINDROSE
LAND SURVEYING | PLATTING

TOPOGRAPHIC SURVEY OF
3.362 AC. / 146,449 SQ. FT.
OUT OF OUTLOT 554 OF OUTLOTS TO THE
TOWN OF LA PORTE, VOL. 1, PG. 33, H.C.M.R.
SITUATED IN THE
NICHOLAS CLOPPER SURVEY, ABSTRACT NO. 198
HARRIS COUNTY, TEXAS

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FIELD BY: JM	CHECKED BY: TW	JOB NO. 60180
DRAWN BY: CR	DATE: JULY 04, 2005	SHEET NO. 1 OF 1